



Land Use Application #1453018 - Ruosch Residence

Project Contact

Company Name: FORTWEST LLC

Name: Shane Fortney **Email:** sfortney@live.com

Address: 522 PO BOX **Phone #:** (425) 308-0528
WOODINVILLE WA 98072

Project Type	Activity Type	Scope of Work
New	Use Approval	Accessory Dwelling Unit - ADU

Project Name: Ruosch Residence
Description of Work: Build ADU as part of a new SFR

Project Details

Accessory Dwelling Unit Information	
Gross square feet - accessory dwelling unit	673
Gross square feet - primary residence	2006

Quantity and Size Specifications	
Number of proposed off street parking spaces	1

City of Edmonds Building Department

Criteria Compliance Narrative

ADU

836 Daley Street

There is one ADU proposed for this property.

The ADU is 673 square feet

ADU can be up to 40% of the livable area of the principal dwelling

Or maximum 800 square feet

The principal dwelling has 2006 square feet of livable area . ADU is 33.5% (meets code)

ADU is one bedroom (maximum 2 bedrooms)

ADU must be attached or within the single family dwelling. ADU proposed is within the single family dwelling

Entrance to ADU is at the rear elevation of the building.

A minimum of 3 off street parking stalls is required. Proposed project has 2 parking stalls within the garage, 2 stalls in the front driveway and 2 stalls in the back driveway. Project complies with parking code.

Primary dwelling will be owner occupied. Owner plans on using ADU for out of town guests that will be visiting their home.

Heating will be controlled by occupant of ADU. Separate heating and water heating units are being proposed.

One hour fire rated wall and one hour rated wall/ceiling assembly provides separation between the principal home and the ADU.

ADU has been designed to meet egress, ventilation, fire and minimum code standards found in the IRC. Smoke alarms and CO detectors are shown on plans



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PLN2024-0021

 MyBuildingPermit.com
a service of eCityGov.net

Jurisdiction:Edmonds

Project Name: Ruosch Residence

Application ID: 1453018

Supplemental Name: Land Use Application

If this is a new parcel or lot that does not yet have an address or a County tax account number, please describe the property and its location (otherwise, you may skip this question):

Please describe the project and/or proposed use(s) you are seeking approval for with this application (you can upload a more detailed file/letter later in the application, as necessary):

Permit for ADU while building a new SFR

Check the boxes indicating all of the related approvals you are seeking for this project (including this application). NOTE THAT A SEPARATE APPLICATION IS REQUIRED FOR EACH APPROVAL.

ADU - Conditional Use



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Jurisdiction:Edmonds

Project Name: Ruosch Residence

Application ID: 1453018

Supplemental Name: Applicant Certification - Planning

The applicant, and his/her/its heirs, and assigns, in consideration on the processing of the application agrees to release, indemnify, defend and hold the City of Edmonds harmless from any and all damages, including reasonable attorney's fees, arising from any action or infraction based in whole or part upon false, misleading, inaccurate or incomplete information furnished by the applicant, his/her/its agents or employees. The property affected by the application is in the exclusive ownership of the applicant or that the application has been submitted with the consent of all owners of the affected property.

I certify, under the penalty of perjury under the laws of the State of Washington, that the information and exhibits herewith submitted are true and correct to the best of my knowledge and that I am authorized to file this application on behalf of the owner of the subject property.

I do so certify.

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ACCESSORY DWELLING UNIT AFFIDAVIT

On my oath, I certify that I reside at 836 Daley St Edmonds, Washington,
in the primary or accessory dwelling unit for more than six months of every year.

Assessor's Parcel Number: #00434208100700

Melinda Kay Ruocco
Signature of Property Owner(s)

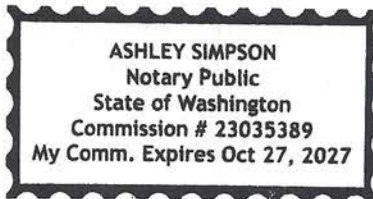
STATE OF WASHINGTON)

COUNTY OF SNOHOMISH)

Subscribed and sworn to before me this 8th day of March.

Ashley Simpson
Notary Public in and for the State of Washington

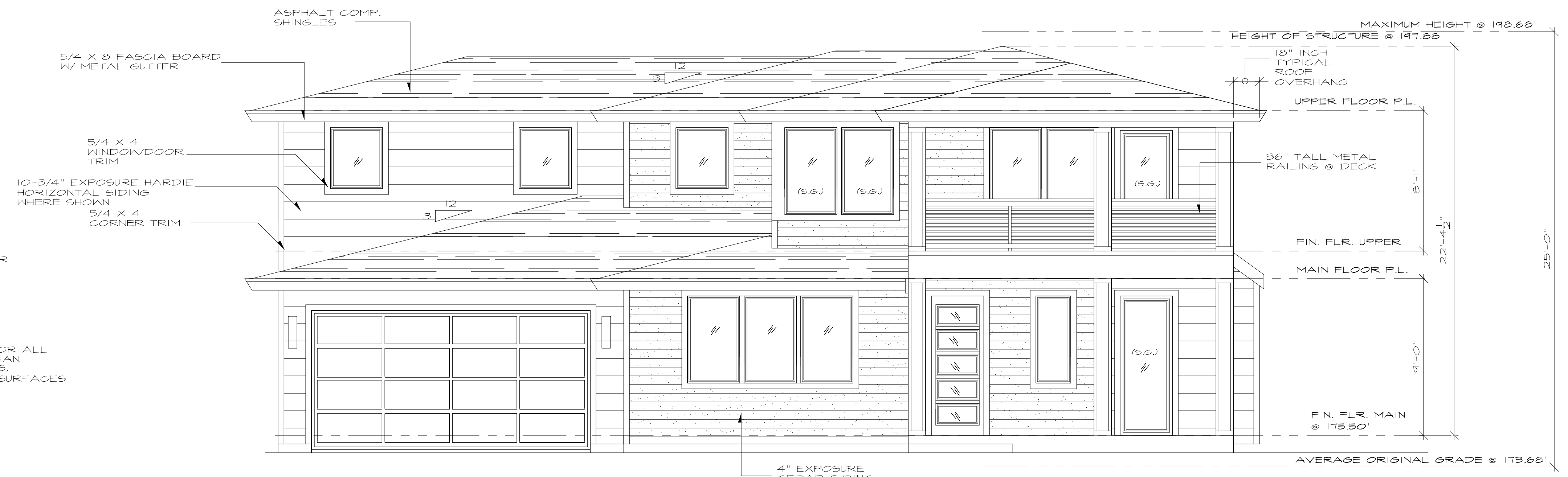
Residing at Lake Stevens.



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- NOTES:
1. ALL WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED, PAINTED OR CEDAR.
 2. CAULK AND SEAL ALL WINDOW/DOOR AND EXTERIOR ENVELOPE PENETRATIONS.
 3. GLAZING PER STATE ENERGY CODE.
 4. PROTECTION FROM DECAY IS REQUIRED FOR ALL WOOD SIDING AND WALL FRAMING LESS THAN 2" ABOVE CONCRETE STEPS, PORCH SLABS, PATIO SLABS, AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER
 5. REFER TO ALL ELEVATIONS FOR TYPICAL NOTES.
 6. S.G. = SAFETY GLASS
 7. ADDRESS NUMBERS SHALL BE A MINIMUM 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2" AND TO BE ON A CONTRASTING BACKGROUND PER IRC 319.1

- FLASHING NOTE
- APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE FASHION IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE BUILDING STRUCTURAL FRAMING COMPONENTS THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION RESISTANT FLASHING SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:
1. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE
 2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS
 3. UNDER AND AT THE ENDS OF MASONRY, WOOD, OR METAL COPINGS AND SILLS
 4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM
 5. WHERE EXTERIOR PORCHES, DECKS, OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION
 6. AT WALL AND ROOF INTERSECTIONS
 7. AT BUILT IN GUTTERS

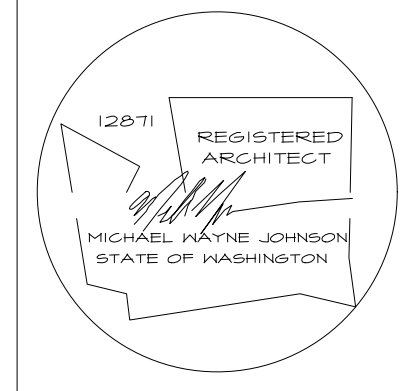


NORTH ELEVATION
SEE GENERAL NOTES SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SEE GENERAL NOTES SCALE: 1/4" = 1'-0"

SQUARE FOOTAGES	
MAIN RESIDENCE:	
MAIN	1210
UPPER	796
TOTAL	2006
ADU:	
MAIN	73
UPPER	600
TOTAL	673
GARAGE	
COVERED	794
DECK	275
COVERED	
PATIO/PORCH	512



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WEST ELEVATION

SEE GENERAL NOTES SCALE: 1/4" = 1'-0"

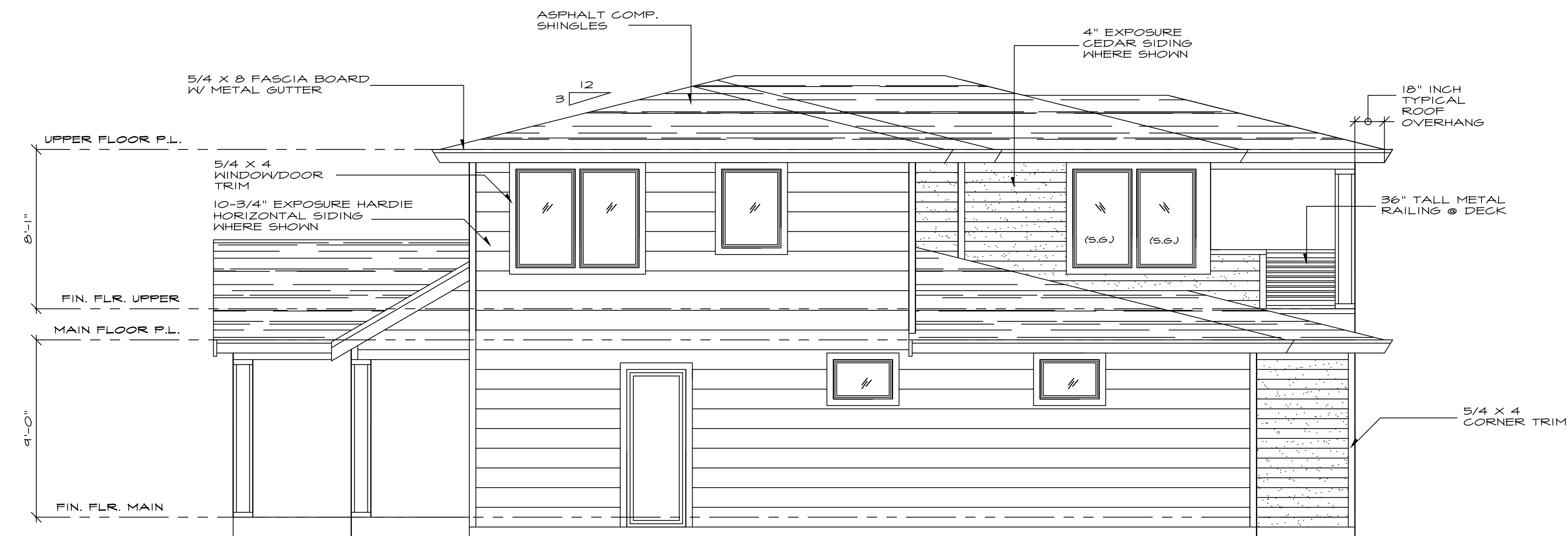
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EAST ELEVATION

SEE GENERAL NOTES SCALE: 1/4" = 1'-0"



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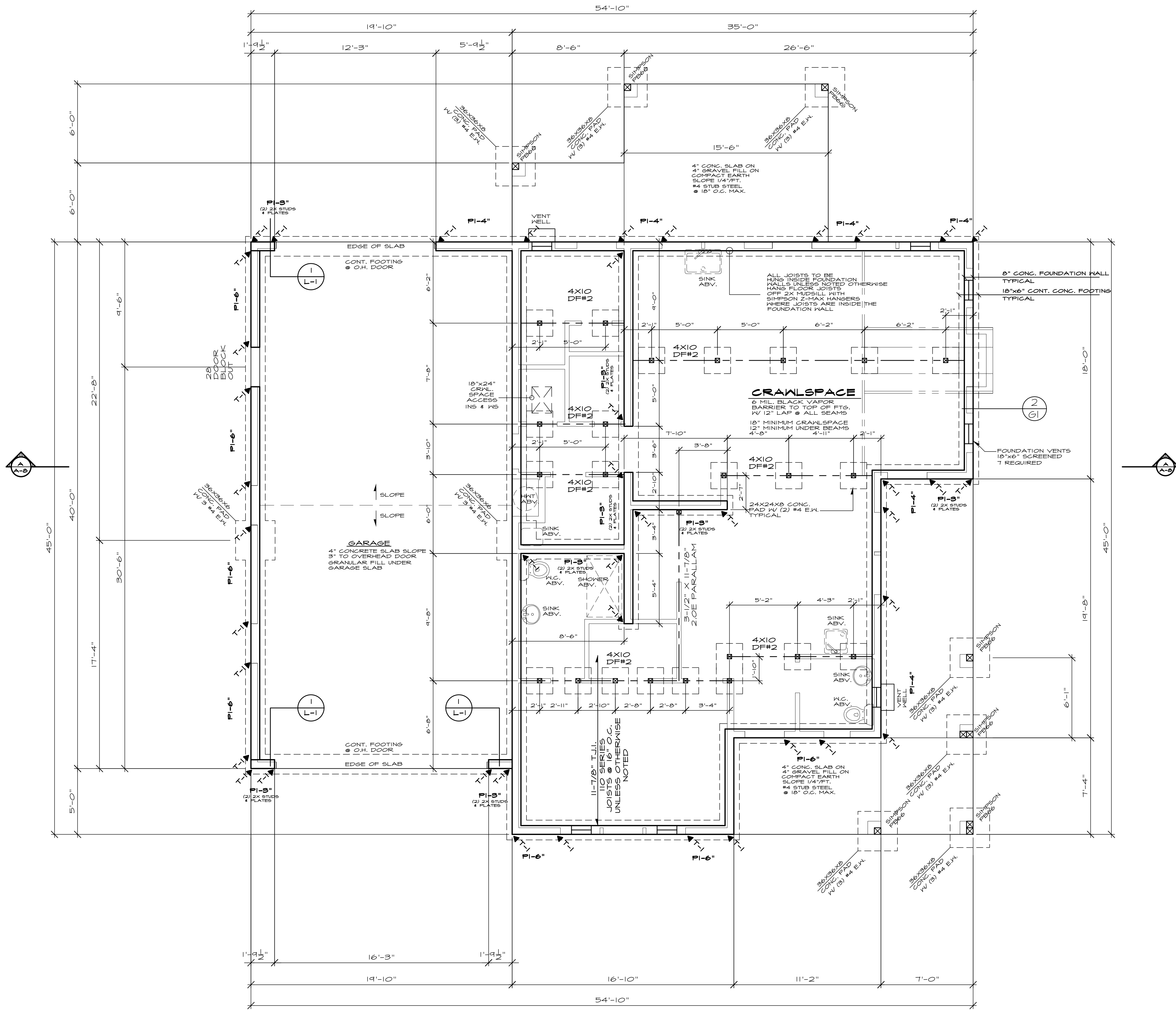
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SHEAR NOTE:

1. SX MATERIAL CAN BE USED FOR ALL MIDSILLS
2. SET A DOUBLE 2X STUD BEHIND EVERY STHD14 HOLDDOWN CALLED OUT ON THE FOUNDATION PLAN. SET HOLD-DOWN 1/2" MINIMUM AWAY FROM WALL CORNERS, WINDOW AND DOOR HEADERS. IT IS IMPORTANT THAT THE FOUNDATION CONTRACTOR HAS THE MAIN FLOOR PLAN SHEET TO PROPERLY LAYOUT HOLD-DOWNS.
3. A MST48 STRAP WITH (2) 1/2" BOLTS INTO THE FOUNDATION IS A PROPER FIX FOR A MISPLACED STHD14 HOLD-DOWN.

NOTES:

- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED OR CEDAR.
- PROVIDE CRAWL DRAIN @ LOW POINT IN CRAWLSPACE.
- SOLID BLOCKING UNDER ALL BEARING WALLS.
- SLOPE ALL CONC. STOOPS AND/OR PATIOS 1/4" PER FOOT AWAY FROM DOORWAYS.
- BEARING WALL ABOVE

FOUNDATION VENT CALCULATION

$$\frac{1210 \text{ SQUARE FEET}}{300} = \frac{4.03}{.57}$$

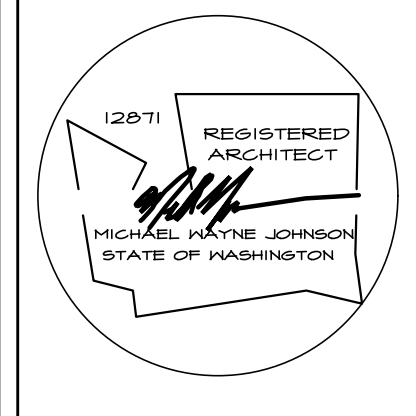
T VENTS REQUIRED

***** SHEAR NOTE:**

SEE SHEET L1 FOR SHEAR WALL LOCATIONS, SHEAR WALL NAILING SCHEDULE, & DETAILS.

HOLDDOWN SCHEDULE				
MARK	HOLDDOWN/ STRAP	FASTENERS	WOOD MEMBER THICKNESS/SPECIES	REQUIRED
T-1	STHD14/14 RJ	24-16d SINKERS	(2) 2X4/2X6 STUDS HF/SPE	
T-2	MST48	(34)-16d	(2) 2X4/2X6 STUDS HF/SPE	
T-3	MSTA36	(26)-10d	(2) 2X4/2X6 STUDS HF/SPE	
T-4	MSTC48B3	(38)-10d	(2) 2X4/2X6 STUDS HF/SPE	
T-5	HDTB	(3)- 3/4"	3-1/2" MIN. DF/SP	66TB28 (7/8") MIN. 24-7/8" EMBEDMENT

FOUNDATION PLAN
SEE GENERAL NOTES SCALE: 1/4" = 1'-0"



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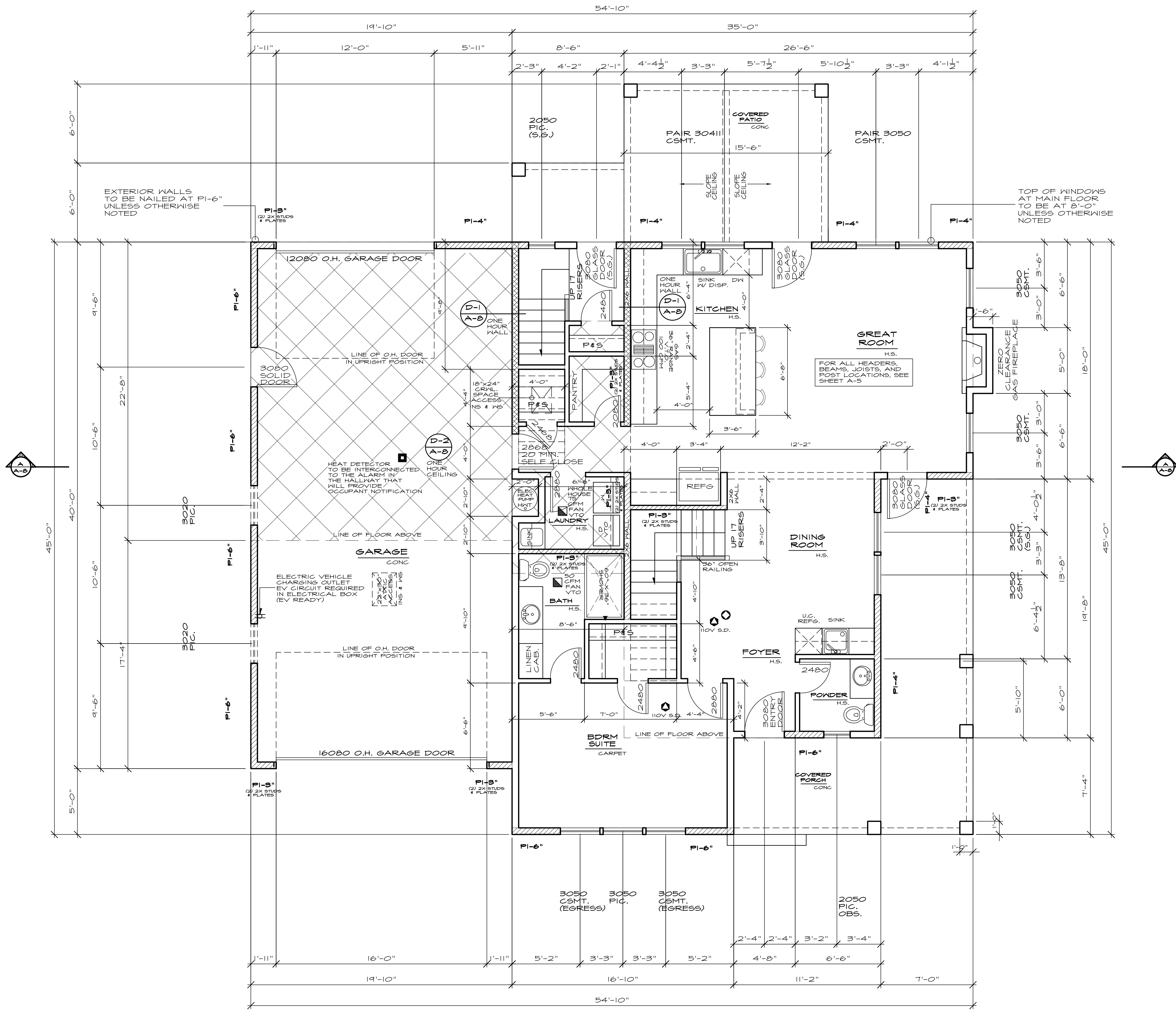
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NOTES:

- ALL EXTERIOR WARM WALLS TO BE 2 X 6 STUDS @ 24" O.C. TYPICAL.
- ALL INTERIOR WALLS TO BE 2 X 4 STUDS @ 24" O.C. TYPICAL.
- ALL HEADERS TO BE 4X10 DF#2 UNLESS NOTED OTHERWISE.
- FUR-CUT HEADERS TO MATCH 2 X 6 WALLS.
- SOLID BLOCKING UNDER ALL BEARING WALLS.
- TUB/SHOWER UNITS SHALL HAVE FIRE BLOCKING BETWEEN WALL STUDS AND WATERPROOF SURCINGING TO +12" FROM DRAIN. GLAZING, INCLUDING WINDOWS WITHIN +12" OF DRAIN SHALL BE SAFETY GLASS. SHOWER FLOOR IS LIMITED TO 1.5 GAL/MIN.
- EXHAUST FANS LARGER THAN 50CFM MAY BE CONNECTED TO 4" SMOOTH WALL VENT PIPE IF RUNS DO NOT EXCEED 20' IN LENGTH. THE MINIMUM SIZE OF FLEXIBLE 1.5" DIAMETER WITH A MAXIMUM RUN OF 15' COMBUSTION AIR REQUIRED FOR ALL FUEL BURNING APPLIANCES.

LEGEND:

- BEARING WALL
- BEARING ABOVE
- FLOOR LINE ABOVE
- POINT LOAD ABOVE
- MULTIPLE 2x STUDS @ POINT LOAD
- SMOKE DETECTOR 110V INTERCONNECTED W/ BATTERY BACK-UP, PER IRC 914
- CARBON MONOXIDE DETECTOR PER IRC 915

GARAGE NOTES:

- GARAGE/LIVING SEPARATION, USE 5/8" TYPE 'X' GNB AT CEILING/WALL, WRAP POSTS AND BEAMS.
- INSULATE ALL WARM WALLS AND CEILING.

FIREPLACE NOTE:

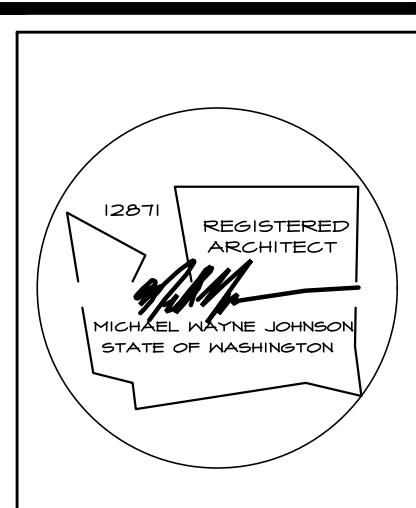
- 0' CLEARANCE FIREPLACE W/ DIRECT VENT
- FACTORY BUILT FIREPLACE SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND SHALL HAVE APPROVAL LABEL ATTACHED
- 5/8" TYPE 'X' GNB TO ROOF SHEATHING
- FIREPLACES & STOVES MUST BE D.O.E. APPROVED & BE TESTED, CERTIFIED & LABELED AS SUITABLE FOR USE DURING A FIRST STAGE BURN BAN.

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T-5	HDTB	(3)- 3/4"	3-1/2" MIN. DF/SP	55TB28 (7/8") MIN. 24-1/8" EMBEDMENT

MAIN FLOOR PLAN
SEE GENERAL NOTES SCALE: 1/4" = 1'-0"



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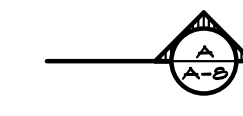
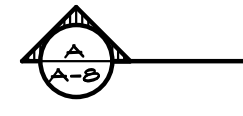
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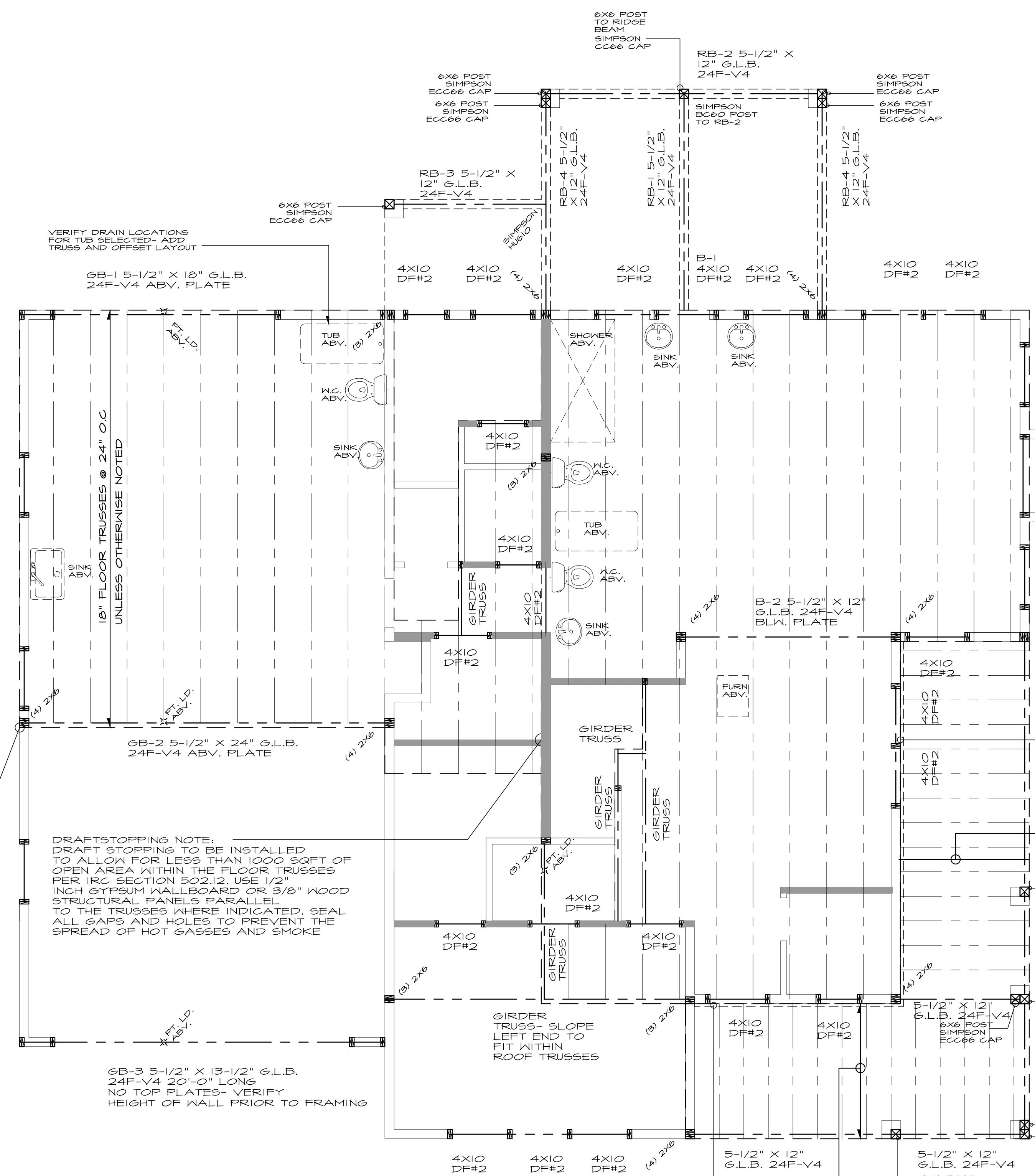
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ALL BUILT UP STUD/ COLUMNS USE 16d NAILS @ 12" O.C. STAGGERED TO ATTACH MEMBERS, NAILING IS TO OCCUR AT THE FACE OF THE STUD (2) A35 CONNECTORS AT BEAM TO WALL/POST CONNECTIONS

DRAFTSTOPPING NOTE:
DRAFT STOPPING TO BE INSTALLED TO ALLOW FOR LESS THAN 1000 SQFT OF OPEN AREA WITHIN THE FLOOR TRUSSES PER IRC SECTION 502.12. USE 1/2" INCH GYPSUM WALLBOARD OR 3/8" WOOD STRUCTURAL PANELS PARALLEL TO THE TRUSSES WHERE INDICATED. SEAL ALL GAPS AND HOLES TO PREVENT THE SPREAD OF HOT GASSES AND SMOKE

GB-3 5-1/2" X 13-1/2" G.L.B. 24F-V4 20'-0" LONG NO TOP PLATES- VERIFY HEIGHT OF WALL PRIOR TO FRAMING



2x8 PT LEDGER W/ 1/2" Ø X 6" LAG BOLTS HOT DIPPED GALVANIZED OR STAINLESS STEEL LAG BOLTS SHALL BE PLACED 2 INCHES FROM THE BOTTOM OR TOP OF THE DECK LEDGER AND BETWEEN 2'-5" FROM THE ENDS OF THE DECK LEDGER. THE LAG BOLTS SHALL BE STAGGERED FROM THE TOP TO THE BOTTOM ALONG THE HORIZONTAL RUN OF THE DECK LEDGER/ LAG BOLTS ARE TO BE AT EVERY JOIST BAY (16" O.C.)
SIMPSON DTTIZ 4 PLACES AT DECK.
2x8 PT JOISTS @ DECK W/ 1-1/8" PLYWOOD SHEATHING WATERPROOF SURFACE TO BE INSTALLED- SLEEPERS TO BE USED TO CREATE SLOPE

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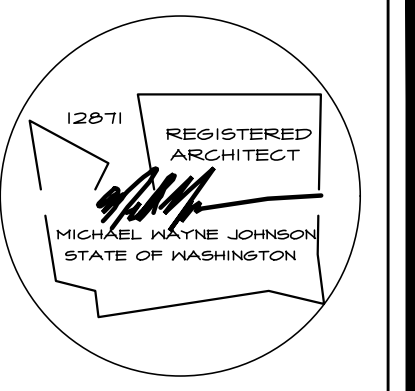
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- COMBUSTION AIR REQUIRED FOR ALL FUEL BURNING APPLIANCES

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UPPER FLOOR FRAMING PLAN

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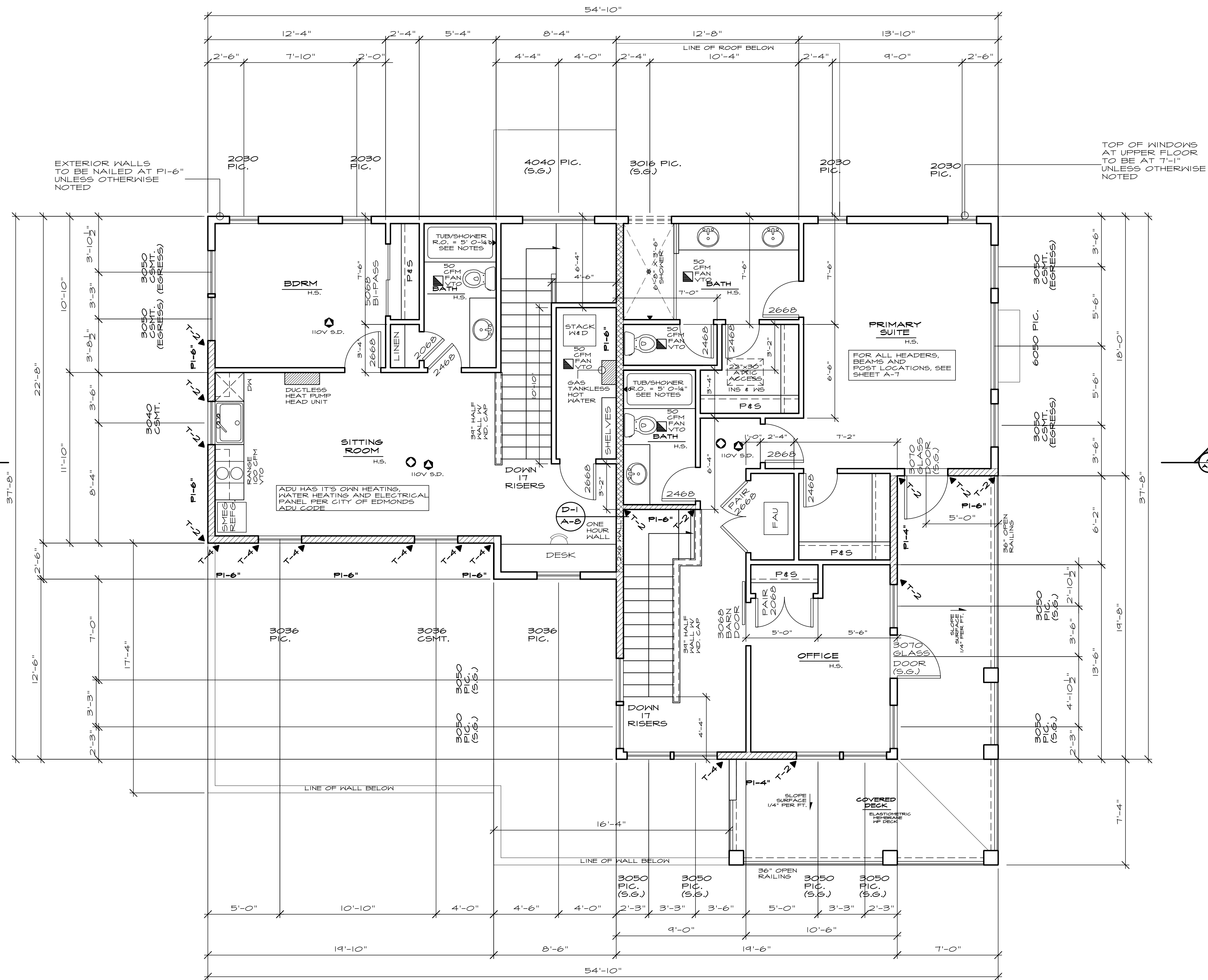
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UPPER FLOOR PLAN

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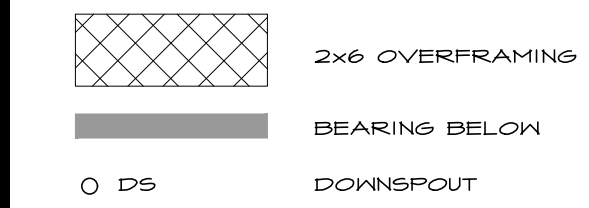
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ROOF FRAMING NOTES

CUT RAFTER TAILS TO MATCH 2x4 TRUSSES
 CONNECTORS SHALL BE ENGINEERED BY TRUSS MANUFACTURER
 ROOF PITCH SHALL BE 3:12 TYPICAL UNLESS NOTED OTHERWISE
 ROOF OVERHANG SHALL BE 18" U.N.O.



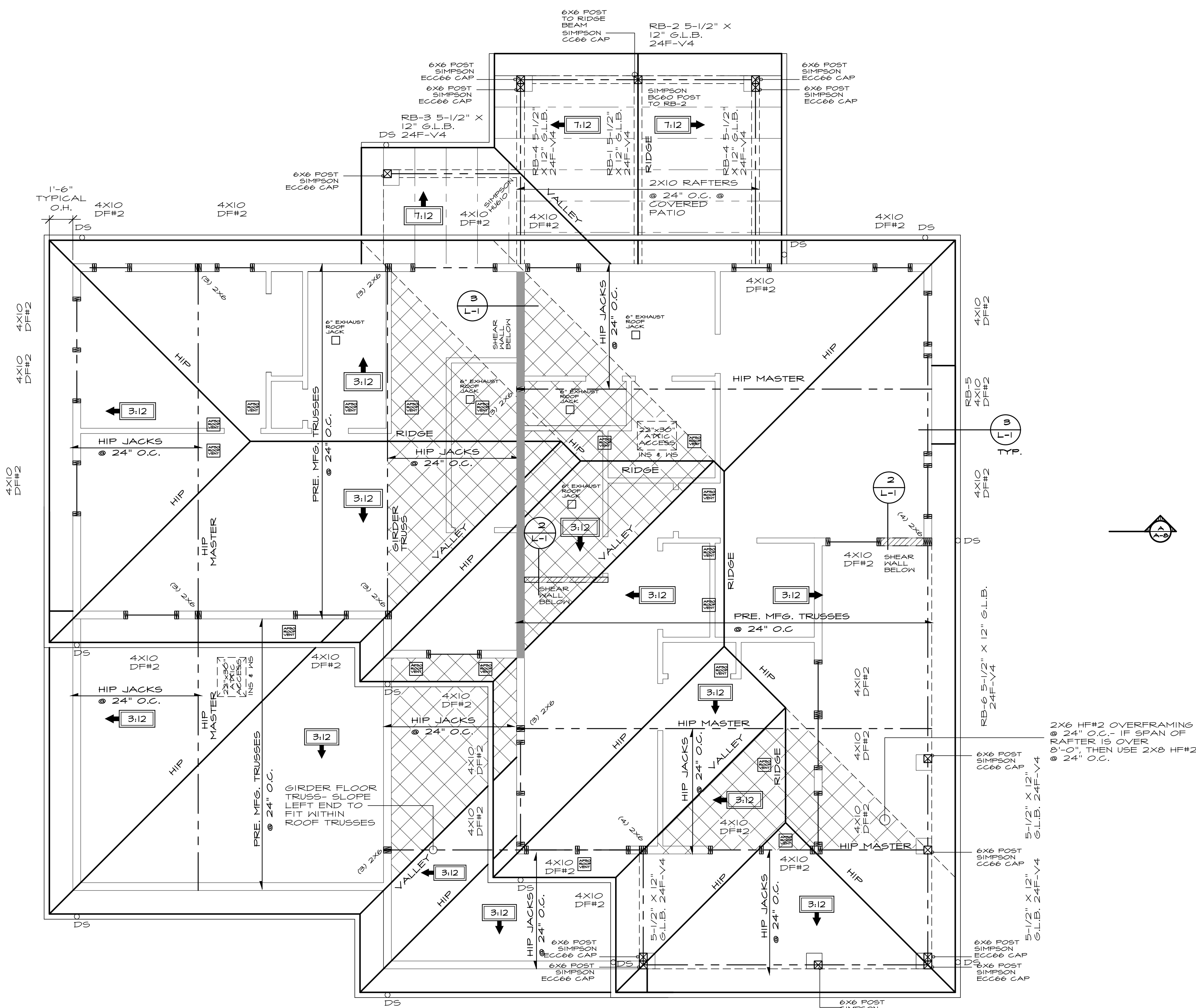
TRUSS NOTE

- ALL TRUSSES SHALL HAVE: STRESS ANALYSIS AND DRAWINGS / DETAILS STAMPED BY A STATE REGISTERED ENGINEER.
- MANUFACTURER'S STAMP ON PRE-MANUFACTURED TRUSSES.
- BRACED TO MANUFACTURER'S SPECIFICATIONS.
- STRESS ANALYSIS AND DETAILS SHALL BE SUBMITTED TO BUILDING DEPT. FOR APPROVAL AND SHALL BE KEPT ON SITE FOR FRAMING INSPECTION.
- TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPARTMENT APPROVAL OR ENGINEERING CALCULATIONS.
- ALL TRUSSES SHALL HAVE SIMPSON H-I CLIPS AT ENDS, WHERE TRUSSES ARE PARALLEL TO WALL, USE SIMPSON LBO AT MIDSPAN, USE SIMPSON STC CLIPS AT NON-BEARING WALLS.

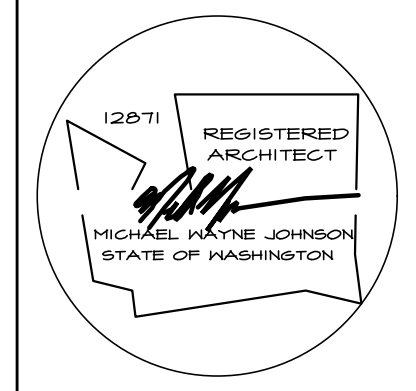
ROOF VENTING CALCULATION-PER 2018 IRC R806.2

2375 SQFT AREA = 7.92 SQFT REQUIRED
 300
 (7.92) x (50%) = 3.96 SQFT MIN. REQUIRED AT EAVES
 TYPICAL TRUSS BLOCK HAS (4) 2 Ø SCREENED HOLES PROVIDING 6.28 SQ. IN. (.044 SQFT) PER BLOCK.
 APPROXIMATELY 110 VENTED BLOCKS = 4.84 SQFT PROVIDED
 (7.92) x (50%) = 3.96 SQFT MIN. REQUIRED WITHIN 3' OF THE RIDGE
 AF50 ROOF JACK VENTS = 34 SQFT EACH VENT PROVIDE 18 AF50 VENTS = 6.12 SQFT PROVIDED
 TOTAL VENT AREA PROVIDED = 10.96 SQ FT

PER 2018 IRC TABLE R905.1.1(2) FOR ROOF SLOPES 3:12, UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY A 19 INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES, STARTING AT THE EAVE, APPLY 36 INCH WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19 INCHES. DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL.



ROOF FRAMING PLAN
 SEE GENERAL NOTES SCALE: 1/4" = 1'-0"



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date: 01-12-24
 permit:
 revisions:

drawn by: MWJ
 checked by:

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2018 WASHINGTON STATE ENERGY CODE

*ALL CLIMATE ZONES (TABLE R402.1.1)

FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAMED WALL R-VALUE	FLOOR R-VALUE	BELOW GRADE WALL R-VALUE	SLAB R-VALUE AND DEPTH
0.28 (PRESCRIPTIVE R-30)	0.50	NR	R-49	R-21	R-38 (PRESCRIPTIVE R-30)	10/15 R-21 +TB	R-10, 2 FEET

*TABLE 406.3- ENERGY CREDITS (SINGLE FAMILY)

PLAN REQUIRES 6 CREDITS SINCE IT IS OVER 1500 SQUARE FEET AND UNDER 5000 SQUARE FEET

OPTION		CREDIT
HEATING OPTION 2	HEAT PUMP (ELECTRIC)	1.0
ENERGY OPTION 1.3	PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.1 WITH THE FOLLOWING MODIFICATIONS: VERTICAL FENESTRATION U=0.28 FLOOR R-38 SLAB ON GRADE R-10 PERIMETER AND UNDER ENTIRE SLAB BELOW GRADE R-10 PERIMETER AND UNDER ENTIRE SLAB OR COMPLIANCE BASED ON SECTION R402.1.4; REDUCE THE TOTAL CONDUCTIVE UA BY 5%	.5
ENERGY OPTION 3.5	AIR-SOURCE CENTRALLY DUCTED HEAT PUMP WITH A MINIMUM HSPF OF 11.0	1.5
ENERGY OPTION 4.2	HVAC EQUIPMENT AND ASSOCIATED DUCT SYSTEM(S) INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R403.3.7. LOCATING SYSTEM COMPONENTS IN CONDITIONED CRAWLSPACES IS NOT PERMITTED UNDER THIS OPTION. ELECTRIC RESISTANCE HEAT AND DUCTLESS HEAT PUMPS ARE NOT PERMITTED UNDER THIS OPTION. DIRECT COMBUSTION HEATING WITH AFUE LESS THAN 80% IS NOT PERMITTED UNDER THIS OPTION.	1.0
ENERGY OPTION 5.5	WATER HEATING SYSTEM SHALL INCLUDE THE FOLLOWING: ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION	2.0
TOTAL		6.0 CREDITS

AIR LEAKAGE TESTING (WSEC R402.4)
THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR (OR LESS DEPENDING ON ADDITIONAL CREDIT OPTIONS). TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR BY AND APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THIS TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE

DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED (WSEC R403.3.2)

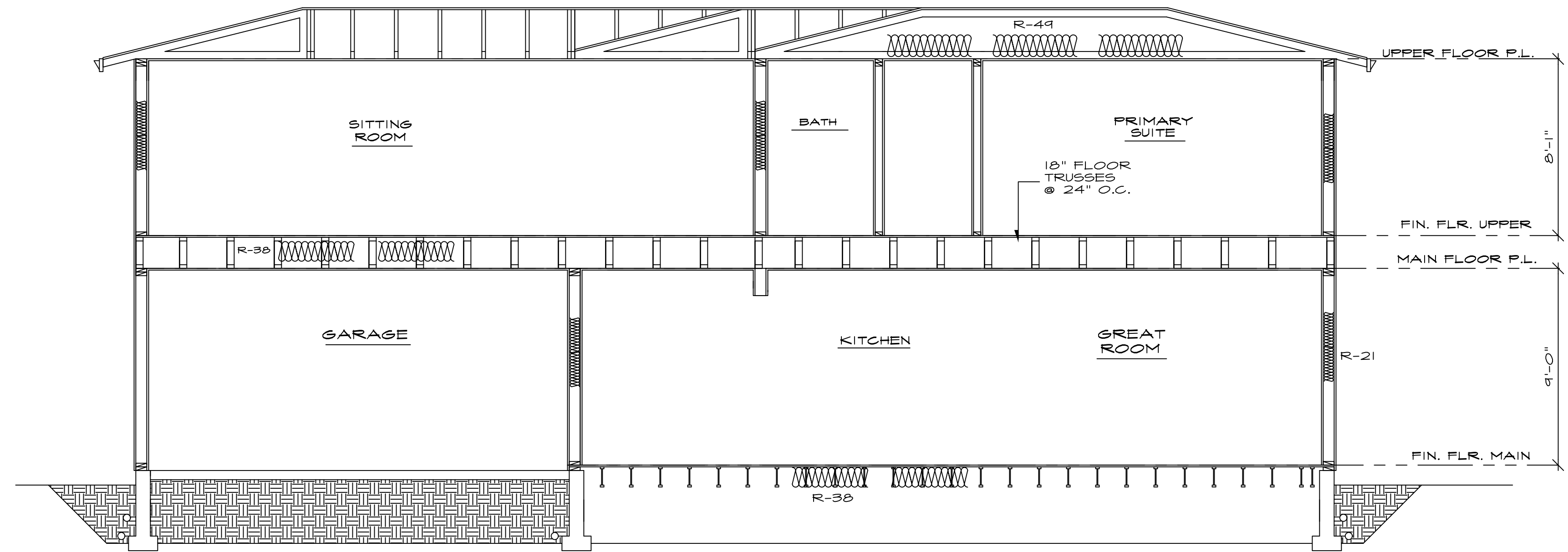
PER WSEC R403.3.3, DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED AND LEAK TESTED

PER WSEC R404.1, A MINIMUM OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS

PROVIDE CERTIFICATION REPORT PER R405.2 IN 2018 WSEC

THE BUILDINGS THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE AND THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE THIRD PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL (WSEC R402.4)

AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE (WSEC R403.1.1)



SECTION A-A

SEE GENERAL NOTES

SCALE: 1/4" = 1'-0"

WALLS AND INTERIOR PARTITIONS, WOOD FRAMED			
GA FILE NO.	GENERIC	1 HOUR FIRE	50 to 54 STC SOUND
WP 3242			
GYPSUM WALLBOARD, RESILIENT CHANNELS, INSULATION, WOOD STUDS			
Fire Design: Resilient channels 16" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 24" o.c. with 1-1/4" Type S screws. One layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 1" Type S screws 8" o.c. with vertical joints located midway between studs. 3" mineral or glass fiber insulation in stud cavity.			
OPPOSITE SIDE: One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to studs with 5d cement coated nails, 1-7/8" long, 0.0915" shank, 15/64" heads, 7" o.c.			
Vertical joints staggered 24" on opposite side. (LOAD-BEARING)			
Sound Design: Sound tested as constructed for fire.			
Thickness: 5-3/8" (Fire and Sound)		Approx. Weight: 7 psf (Fire and Sound)	
Fire Test: Based on UL R14196, 05NK05371, 2-15-05, UL Design U309		Sound Test: NRCC TL-93-098, IRC-IR-761, 3-98	

D-1
A-8

ONE HOUR WALL DETAIL

FLOOR-CEILING SYSTEMS, WOOD FRAMED			
GA FILE NO.	GENERIC	1 HOUR FIRE	
FC 5512			
GYPSUM BOARD, WOOD TRUSSES			
Fire Design: Base layer 1/2" type X gypsum wallboard or gypsum veneer base applied perpendicular to wood trusses 24" o.c. with 1-1/4" Type S screws 24" o.c. Face layer 1/2" type X gypsum wallboard or gypsum veneer base applied perpendicular to trusses with 1-7/8" Type S screws 12" o.c. and 1-1/2" Type G screws 12" o.c. placed 3" back from either side of end joints. Joints offset 24" from base layer joints. Chord and web members fabricated from 2 x 4 lumber with 20 ga steel connector plates having a minimum tooth length of 5/16". Plate design values based upon a safety factor of 4. Trusses have a minimum depth of 12". 19/32" T&G plywood with exterior glue applied at right angles to top of trusses with 5d common nails 9" o.c. Plywood end joints staggered 48".			
Approx. Ceiling Weight: 4 psf (Fire)		Fire Test: FM FC214 - 1 hour, 7-6-78	

D-2
A-8

ONE HOUR FLOOR CEILING DETAIL

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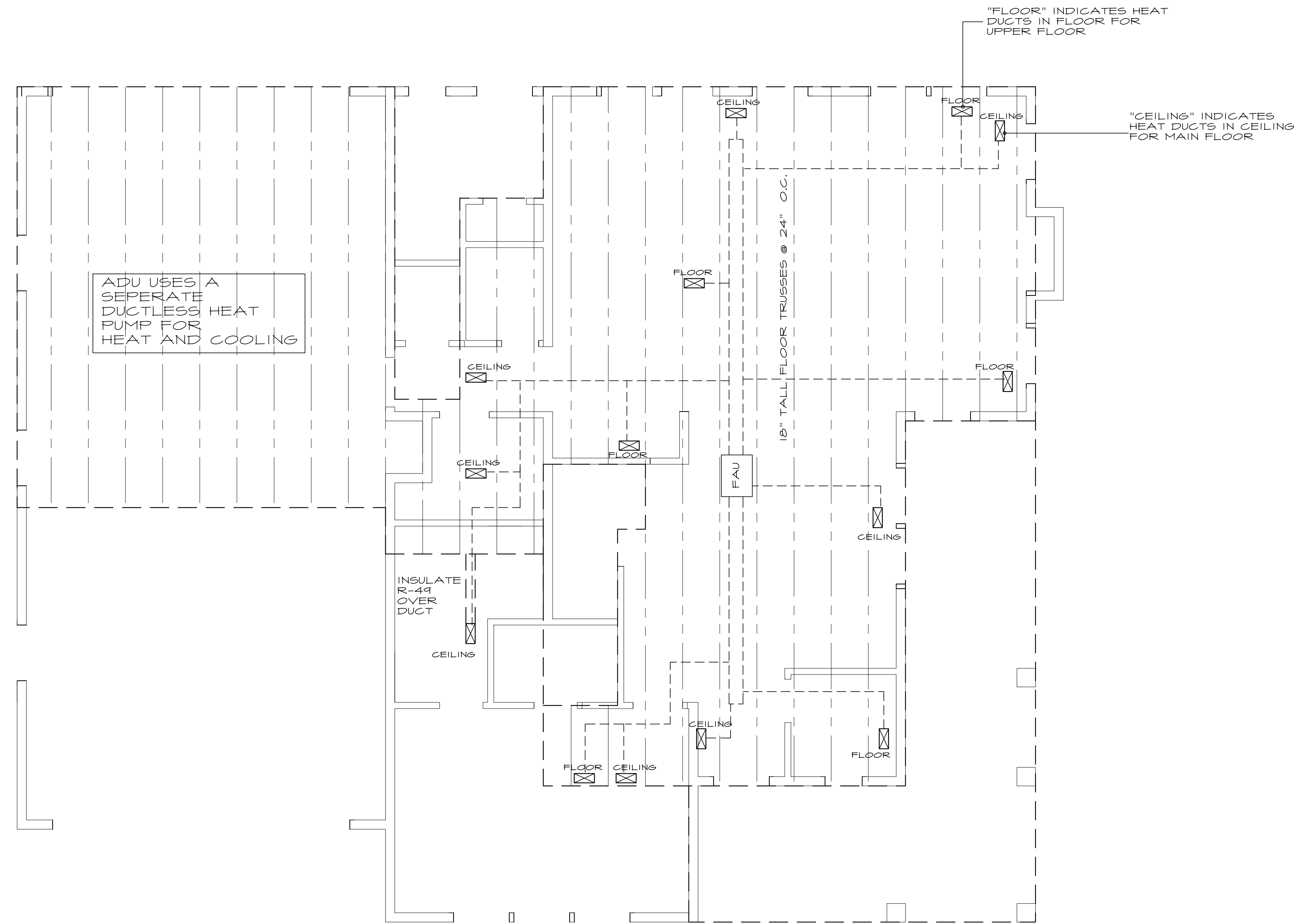
date: 01-12-24
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revisions:

drawn by: MKJ
checked by:

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HVAC PLAN
 SEE GENERAL NOTES

SCALE: 1/4" = 1'-0"

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SHEAR WALL SCHEDULE PER 2018 IBC

GENERAL NOTES:

SEE PLANS TO DETERMINE THE DIFFERENT DESIGNATORS FOR SHEAR WALL MATERIALS, NAILING, ANCHOR BOLTS, AND HOLD-DOWNS. LOCATE HOLD-DOWNS AS CLOSE AS POSSIBLE TO THE END OF THE DESIGNATED WALL.
ALL HOLD-DOWNS, ANCHOR BOLTS, WASHERS, & NAILS IN CONTACT WITH P.T. WOOD TO BE HOT DIPPED GALVANIZED.

P1 = ONE SIDE PLYWOOD
P2 = TWO SIDES PLYWOOD

MARK	7/16" PLYWD.	NAIL SPACING EDGES	FIELD	TOP & BTM. PLATES	A35 ANCHORS	BLK'S. REQ'D.	SILL PLATE ANCHOR BOLTS	OPTIONAL SIMPSON MASAP ANCHORS	BASE PLATE NAILING	HEM FIR #2 VALUE (#/LF)
P1-6"	8d	6"	12"	6"	18" O.C.	2x4	5/8" @ 48"	@ 48" & ENDS	(2) 16d @ 10"	240
P1-4"	8d	4"	12"	4"	16" O.C.	2x4	5/8" @ 32"	@ 30" & ENDS	(2) 16d @ 7"	344
P1-3" **	8d	3"	12"	3"	14" O.C.	3x4	5/8" @ 24"	@ 24" & ENDS	(2) 16d @ 5"	450
P1-2" **	8d	2"	12"	2"	12" O.C.	3x4	3/4" @ 24"	@ 18" & ENDS	(2) 16d @ 5"	585
P2-6" **	8d	6"	12"	6"	10" O.C.	3x4	5/8" @ 24"	N/A	(2) 16d @ 5"	480
P2-4" **	8d	4"	12"	4"	8" O.C.	3x4	3/4" @ 20"	N/A	(3) 16d @ 5"	700
P2-3" **	8d	3"	12"	3"	8" O.C.	3x4	3/4" @ 16"	N/A	(4) 16d @ 5"	900
P2-2" **	8d	2"	12"	2"	8" O.C.	3x4	3/4" @ 12"	N/A	(4) 16d @ 4"	1170

**NOTE: WALLS WITH UNIT SHEAR OF 350#/FT. OR GREATER SHALL HAVE FRAMING MEMBERS (STUDS & PLATES) ABUTTING PANELS NOT LESS THAN 3X MEMBERS PER IBC 2018, TABLE 2306.3.1. 3X FRAMING WILL BE NOTED ON PLAN.

- USE POWER-DRIVEN STEEL STUDS AND NAILS BY HILTY OR RAMSET WHERE APPLICABLE.
- PLYWOOD MAY BE INSTALLED EITHER HORIZONTALLY OR VERTICALLY.
- SOLID BLOCK WITH JOIST UNDER INTERIOR SHEAR WALLS.

SHEAR WALL NOTES

7/16" OSB OR PLYWOOD SHEATHING - USE 8d COMMON OR GALVANIZED NAILS. BLOCK ALL PANEL EDGES. LONG DIMENSIONS OF PLYWOOD MAY BE INSTALLED VERTICALLY. NAIL @ 12" O.C. TO ALL INTERMEDIATE STUDS. WHERE 3" NAIL SPACING IS SPECIFIED AT PANEL EDGES, USE 1-1/2" @ SHORT NAILS OR 3X STUDS WITH 8d COMMON NAILS. FOR 2" NAIL SPACING, USE 3X STUDS AND STAGGER PANELS. WHERE PLYWOOD IS 2 SIDES OF WALL, JOINTS TO FALL ON SEPARATE STUDS ON EACH SIDE.

FLOOR PLYWOOD - USE 8d COMMON NAILS @ 10" O.C. AT INTERMEDIATE SUPPORTS, 6" O.C. AT ALL PANEL EDGES AND 4" O.C. AT ALL SHEAR WALLS, UNLESS OTHERWISE SHOWN ON PLANS.

FLOOR JOISTS - JOIST PARALLEL TO FLOOR OPENINGS AND EXTERIOR WALLS SHALL BE CROSS BLOCKED AT 48" O.C. @ EDGES W/ (4) 10d NAILS FOR THE FIRST BAY.

3" x 3" x 1/4" SQUARE WASHERS AT ALL ANCHOR BOLTS.

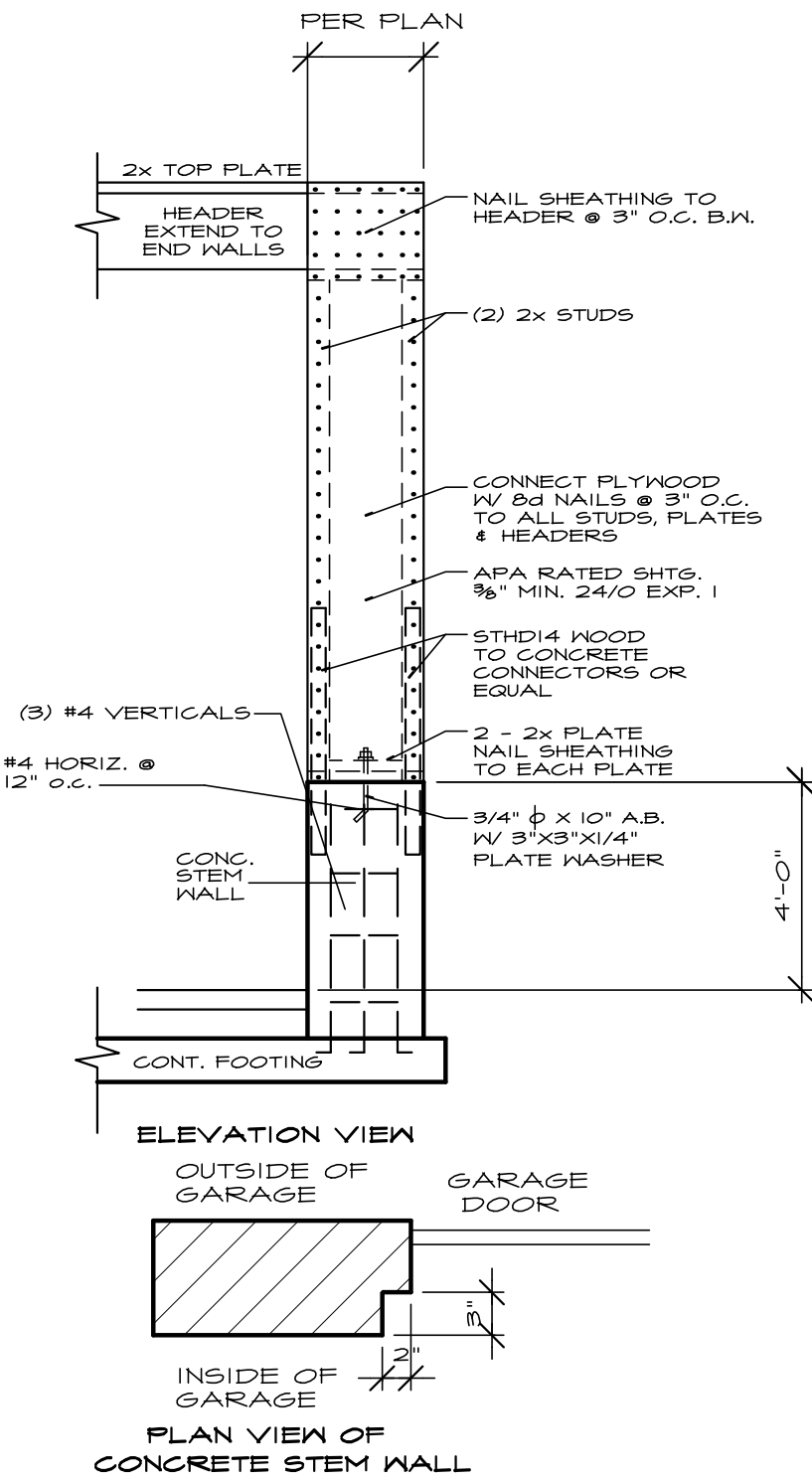
7/16" OSB OR PLYWOOD SHEATHING - STAPLE SCHEDULE ALLOWABLE SHEAR VALUES WITH HEM FIR #2 STUDS

2" 16 GA. STAPLES @ 3" O.C. - 280#/FT. 2" O.C. - 360#/FT.	15 GA. STAPLES @ 4" O.C. - 280#/FT. 2-1/2" O.C. - 430#/FT. 4" O.C. AND 10d NAILS @ 6" O.C. - 620#/FT.	14 GA. STAPLES @ 4" O.C. - 303#/FT. 3" O.C. - 340#/FT. 2" O.C. - 504#/FT.
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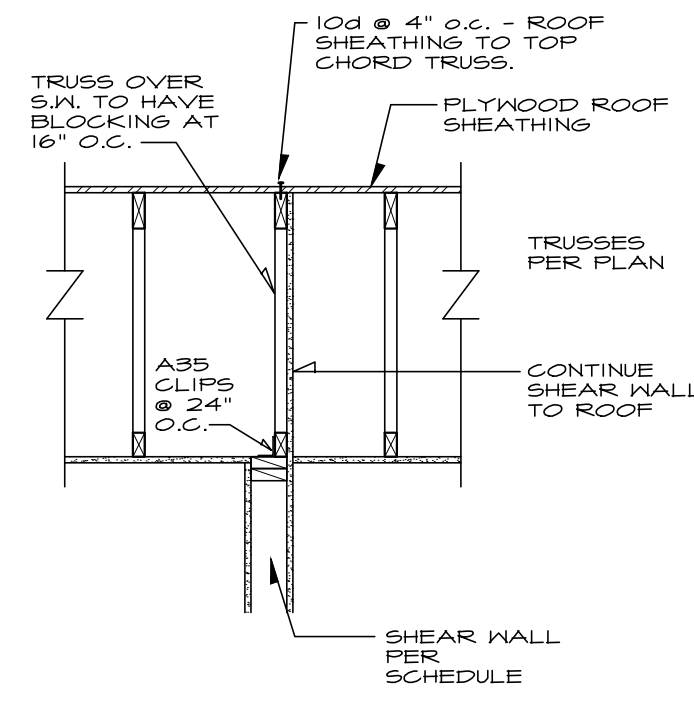
FIELD SPACING: 12" O.C. NAILS & STAPLES.

HOLD-DOWNS - INSTALL SIMPSON HOLD-DOWNS OR USP HOLD-DOWNS AT THE END OF SHEAR WALLS WHEN SHOWN ON DRAWINGS.
PER PLAN, SIMPSON 5THD14 OR USP STAD14
SIMPSON MST48 OR USP KST248
SIMPSON MSTC48B3 OR USP MSTCB48B3

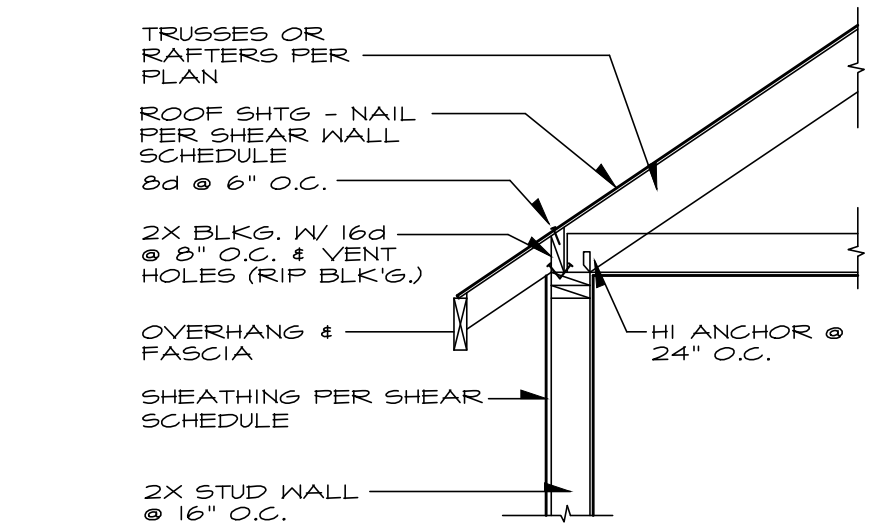
SIMPSON MST36 OR USP MST136
SIMPSON HDTB OR USP TDX10 (1/8" ANCHOR BOLT MIN. 24" EMBEDMENT, 3" BOLT INTO (3) 2X4(6))



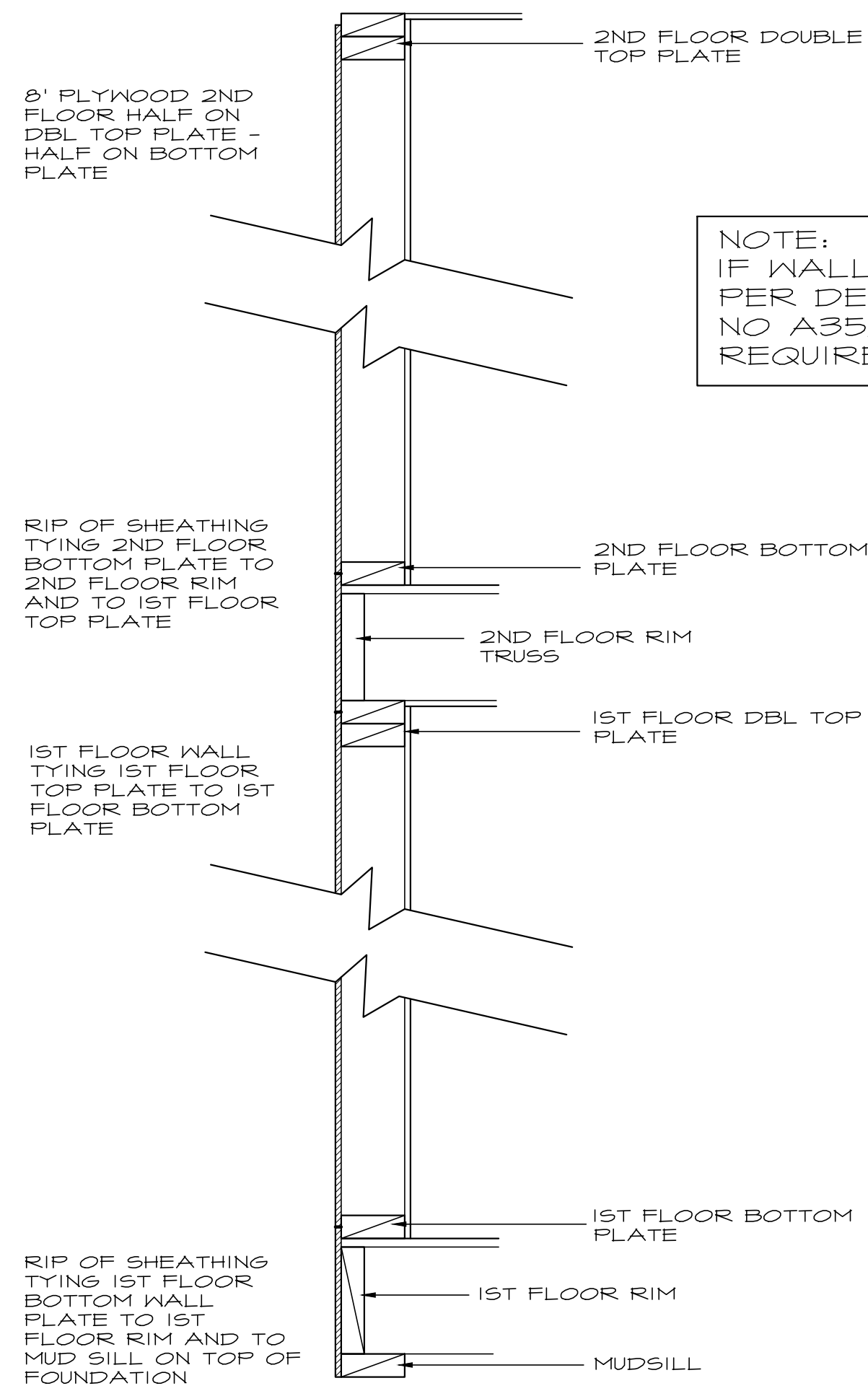
1
L-1
LATERAL RESTRAINT PANEL
SEE GENERAL NOTES
NO SCALE



2
L-1
SHEAR WALL PARALLEL TO TRUSS CONNECTION
NO SCALE

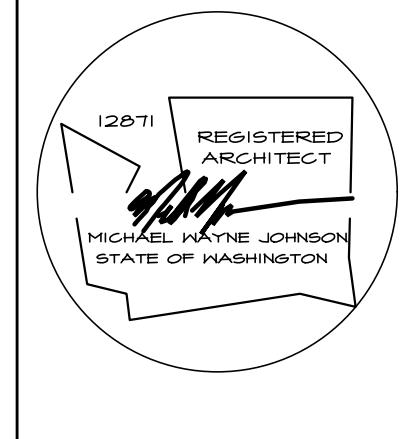


3
L-1
TYP. SHEARWALL TO ROOF CONNECTION
NO SCALE



NOTE:
IF WALLS SHEATHED PER DETAIL THAN NO A35/LPT4 ARE REQUIRED

SHEATHING CONNECTIONS



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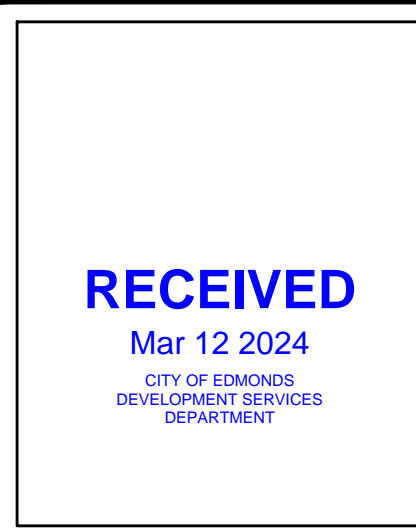
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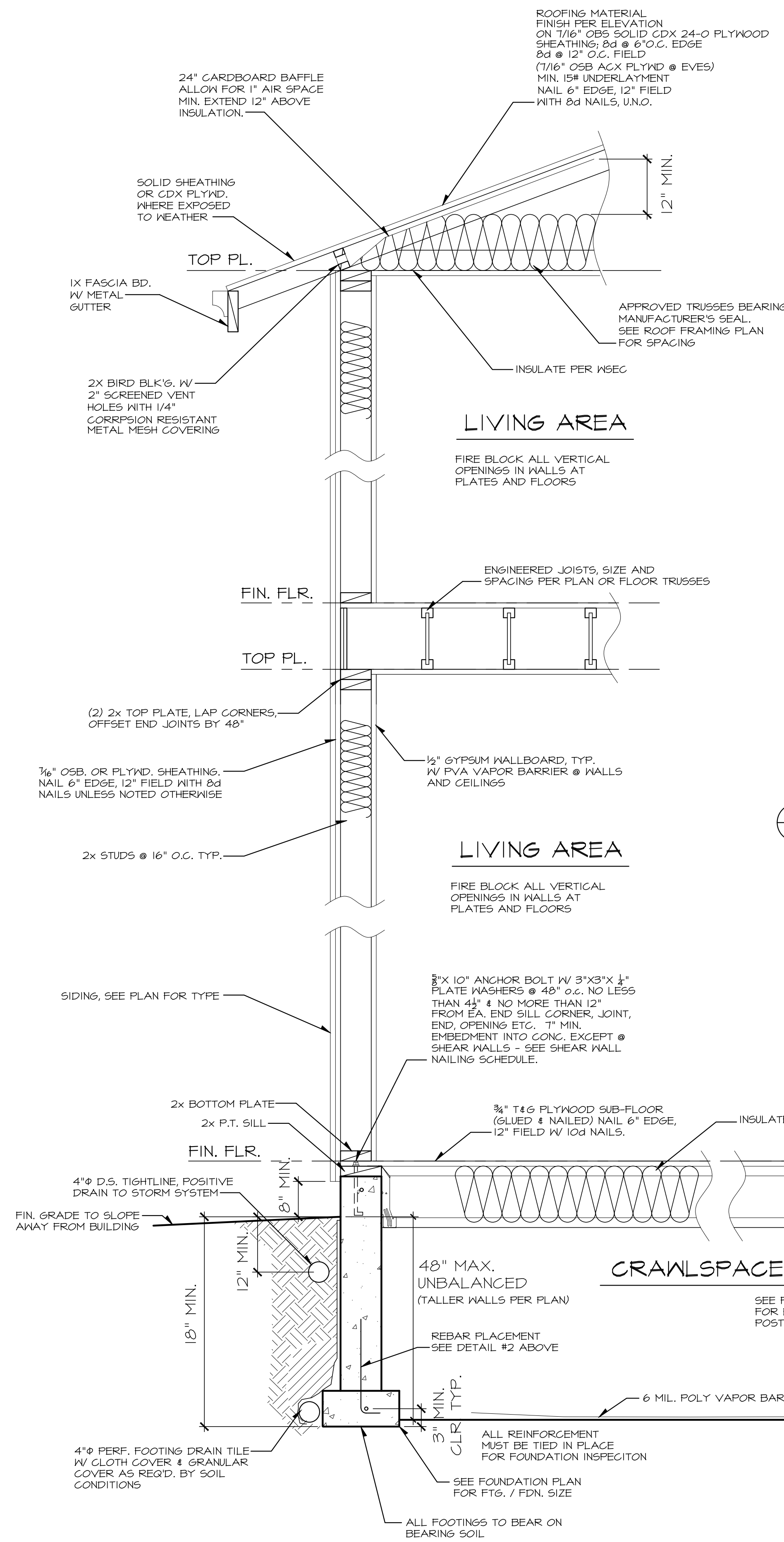
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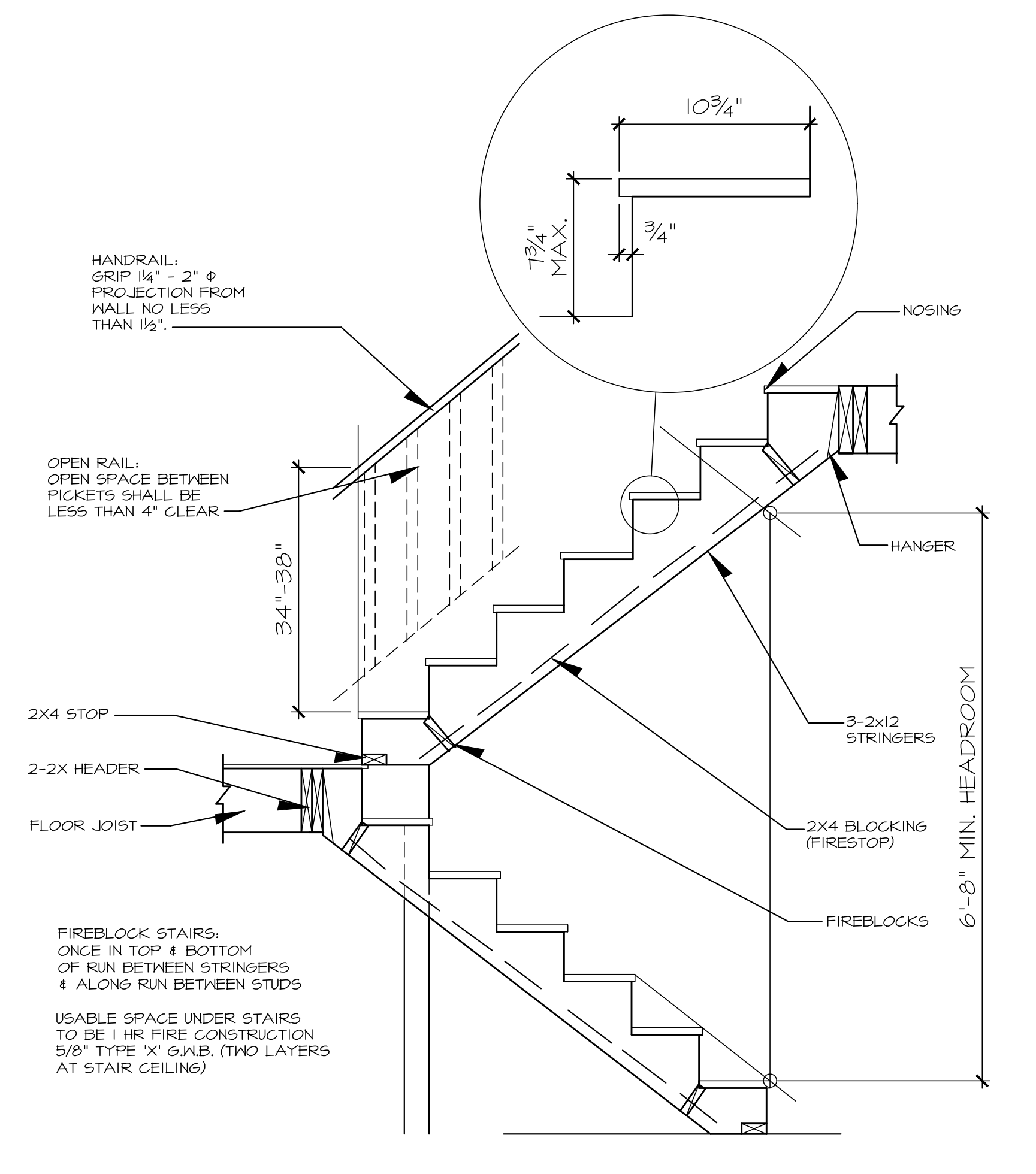
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1 **TYPICAL WALL SECTIONS**
SCALE: N.T.S.

2 **STD. FOUNDATION DETAIL**
SCALE: N.T.S.

3 **STAIR DETAIL - TYPICAL**
SCALE: N.T.S.



STAIR NOTES:
RISER HEIGHT = 7-3/4" MAX.
TREAD DEPTH = 10" MIN.

NASH AND ASSOCIATES
GENERAL NOTES:

- All construction per applicable codes and ordinances. 2018 IRC, IBC, 2018 WASHINGTON STATE ENERGY CODE
- Verify all dimensions on job site. Bring discrepancies to the attention of Owner and/or Designer.
- Owner will verify window sizes and manufacturer(s) with framer before start of construction.
- One window per bedroom shall meet egress code.
- Skylight glazing per 2018 IBC.
- Truss manufacturer shall supply shop drawings to Owner and framer to review and approve before fabrication.
- Owner will verify electrical and heat layouts with installer before installation.
- Under all parallel bearing walls, use double joists or as noted on plan. Double joist (or extra TJI) under all non-bearing parallel walls.
- TJI products to be installed per manufacturer's installation guide and approved reports.
- All metal connections to treated wood shall be at a minimum, triple zinc ZMAX (6185 per ASTM A653); Hot Dip Galvanize (ASTM A123 for connectors and ASTM153 for fasteners and anchors).
- All bathroom fans, kitchen hood, and dryer ducts shall be exhausted through the attic to the roof or through the floor system to an outside wall. All wall ducts shall terminate at least 36" from a window opening.

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA:

TERMITE:	SLIGHT TO MODERATE
DECAY:	SLIGHT TO MODERATE
WINTER DESIGN TEMP:	26°
ICESHIELD REQUIRED:	YES
FLOOD HAZARDS:	2003 1942 FIRM
AIR FREEZING INDEX:	250
MEAN ANNUAL TEMP:	46

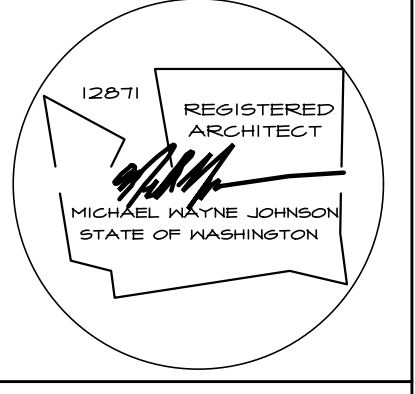
DESIGN DATA:

ROOF LOADS:	LL 25#/SF (SNOW) DL 15#/SF TOTAL 40#/SF
FLOOR LOADS:	LL 40#/SF DL 10#/SF TOTAL 50#/SF
DECK LOADS:	LL 60#/SF DL 10#/SF TOTAL 70#/SF
SOIL:	1500 PSF MINIMUM
CONCRETE:	2500 PSI AFTER 28 DAYS (5 1/2 SACK MIX)
	-3000 PSI FOR EXTERIOR FOUNDATION WALLS, PORCHES, STEPS, AND OR GARAGE SLABS- AIR ENTRAINMENT IS BETWEEN 5-7% (TABLE 402.2 IRC)

MASONRY:	PER 2018 IBC
STEEL:	PER 2018 IBC (GRADE 40)
WOOD:	PER 2018 IBC
NAILING:	PER 2018 IRC NAILING PER TABLE R602.3(i), R602.10
WIND:	85 MPH
SEISMIC:	ZONE - D1 V = see design calculations (Vd)
WEATHERING POTENTIAL:	MODERATE
FROST LINE:	12"
E.F.P.:	45 PSF
4" BEAM:	DOUGLAS FIR #2
6" BEAM:	Fv = 85 Fb = 875 PSI E = 1,800,000
4" POST:	DOUGLAS FIR #2
6" POST:	Fv = 85 Fb = 875 PSI E = 1,300,000
JOISTS & RAFTERS:	HEM FIR #2
4 STUDS:	Fv = 75 Fb = 850 PSI E = 1,300,000
GLU-LAM BEAMS:	Fv = 165 psi Fb = 2,400 psi (reduced by size factor, Cf*(K1)) E = 1,800,000 psi

NOTE:
VARIATIONS FROM THE ABOVE LUMBER GRADES WILL BE NOTED ON THE PLANS.

- SUBFLOOR:
T&G PLYWOOD OR OSB APA RATED STURD-I-FLOOR 16" O.C., 3/4"
- WALL & ROOF SHEATHING:
APA RATED SHEATHING 24/16 1/16"
- FOOTING FOR:
8" WALL - 18" x 12" FOOTING
24" BELOW GRADE
#4 STUB STEEL - 48" o.c. VERT.
UNLESS NOTED OTHERWISE



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TYPICAL WALL DETAILS

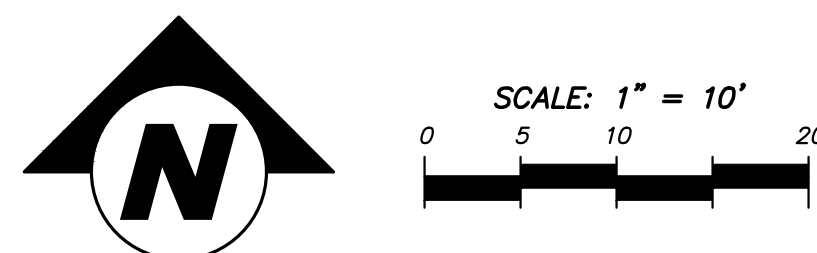
date: 03-03-21
permit:
revisions:

drawn by: RO
checked by:



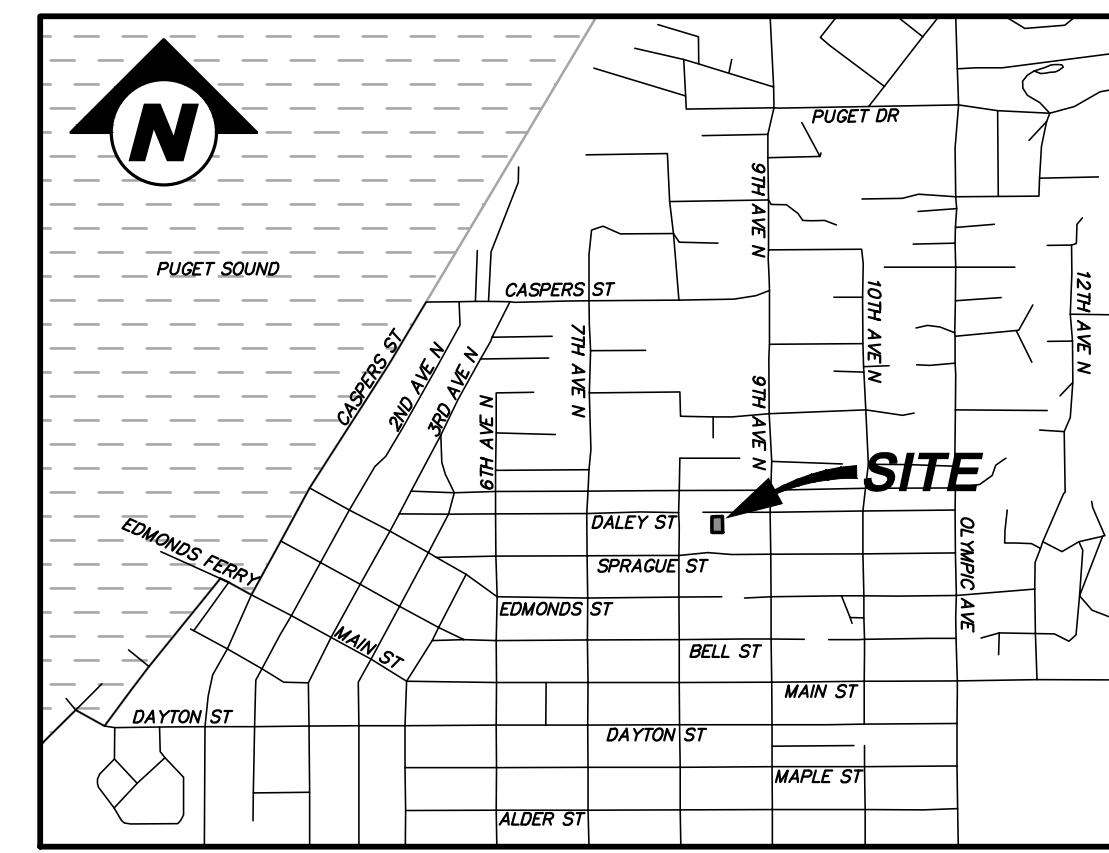
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836 DALEY STREET SITE DEVELOPMENT PLANS



NOTES:

- Set tree plumb and vertical.
- Rotate tree to align as vertical in field; north face to North.
- Prune dead, damaged and crossing branches. Elevate branches as per City standards where applicable. Do not cut branch tips or control leader.
- Remove all stakes and guys after 12 months.



VICINITY MAP
NOT TO SCALE

PROJECT TEAM

OWNER/APPLICANT
KAY RUOSCH
1322 SPRINGBROOK RD
LAKE STEVENS, WA 98258

CIVIL ENGINEER
RAM ENGINEERING, INC.
19109 36TH AVE W, SUITE 100
LYNNWOOD, WA 98036
(425) 678-6860
CONTACT: ROB L. LONG, PE
ROBL@RAMENGINEERINGINC.COM

SURVEYOR

PACIFIC COAST SURVEYS, INC.
PO BOX 13619
MILL CREEK, WA 98082
(425) 512-7099
CONTACT: DARREN J. RIDDLE

LEGAL DESCRIPTION

THE EAST 11 FEET OF LOT 7 AND ALL OF LOTS 8 AND 9, BLOCK 81 CITY OF EDMONDS, ACCORDING TO THE PLAT RECORDED IN VOLUME 2 OF PLATS AT PAGES 38, IN SNOHOMISH COUNTY, WASHINGTON.

BASIS OF BEARING

NORTH 77°32'20" EAST BETWEEN TWO FOUND MONUMENTS AS SHOWN.

DATUM/BENCHMARK

EDMONDS (M.L.L.W.)
RAILROAD STAKE IN EAST FACE OF POWER POLE ON THE NORTH SIDE OF GLEN ST. PER EDMONDS CREEKSIDE CONDO PH. 1. ELEVATION = 76.89'

SURVEY REFERENCES

- (R1) RECORD OF SURVEY - AFN 201206228002
- (R2) PLAT OF CITY OF EDMONDS - VOL. 2, PG. 39
- (R3) EDMONDS CREEKSIDE (PHASE 1) CONDO - AFN 9006285011

NOTES

- THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF PARTIES WHOSE NAMES APPEAR HEREON ONLY, AND DOES NOT EXTEND TO ANY UNNAMED THIRD PARTIES WITHOUT EXPRESS RECERTIFICATION BY THE LAND SURVEYOR OF RECORD.
- BOUNDARY LINES SHOWN AND CORNERS SET REPRESENT DEED LOCATIONS. OWNERSHIP LINES MAY VARY. NO GUARANTEE OF OWNERSHIP IS EXPRESSED OR IMPLIED. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ALL EASEMENTS, RESTRICTIONS, RESERVATIONS, AND OCCUPATION WHICH MAY ENCUMBER TITLE OR USE OF SUBJECT PROPERTY.

SITE DATA

SITE ADDRESS: 836 DALEY ST, EDMONDS, WA 98020
TOTAL SITE AREA: 7,766 SF (0.18 AC)
EXISTING ZONING: RS-6

AGENCIES/UTILITIES

JURISDICTION	CITY OF EDMONDS
WATER DISTRICT	CITY OF EDMONDS
SEWER DISTRICT	CITY OF EDMONDS
STORMWATER	CITY OF EDMONDS
SCHOOL DISTRICT	EDMONDS SCHOOL DISTRICT NO. 15
FIRE DISTRICT	SOUTH SNOHOMISH COUNTY FIRE & RESCUE
TELEPHONE	ZIPLY
ELECTRICAL	SNOHOMISH COUNTY PUD NO. 1
GAS	PSE
GARBAGE	SOUND DISPOSAL

SHEET INDEX

1	SP-01	SITE DEVELOPMENT PLAN
2	GN-01	GENERAL NOTES & LEGEND
3	TP-01	CLEARING, GRADING & TESC PLAN
4	DT-01	GENERAL DETAILS
5	DT-02	GENERAL DETAILS

CONSTRUCTION NOTE

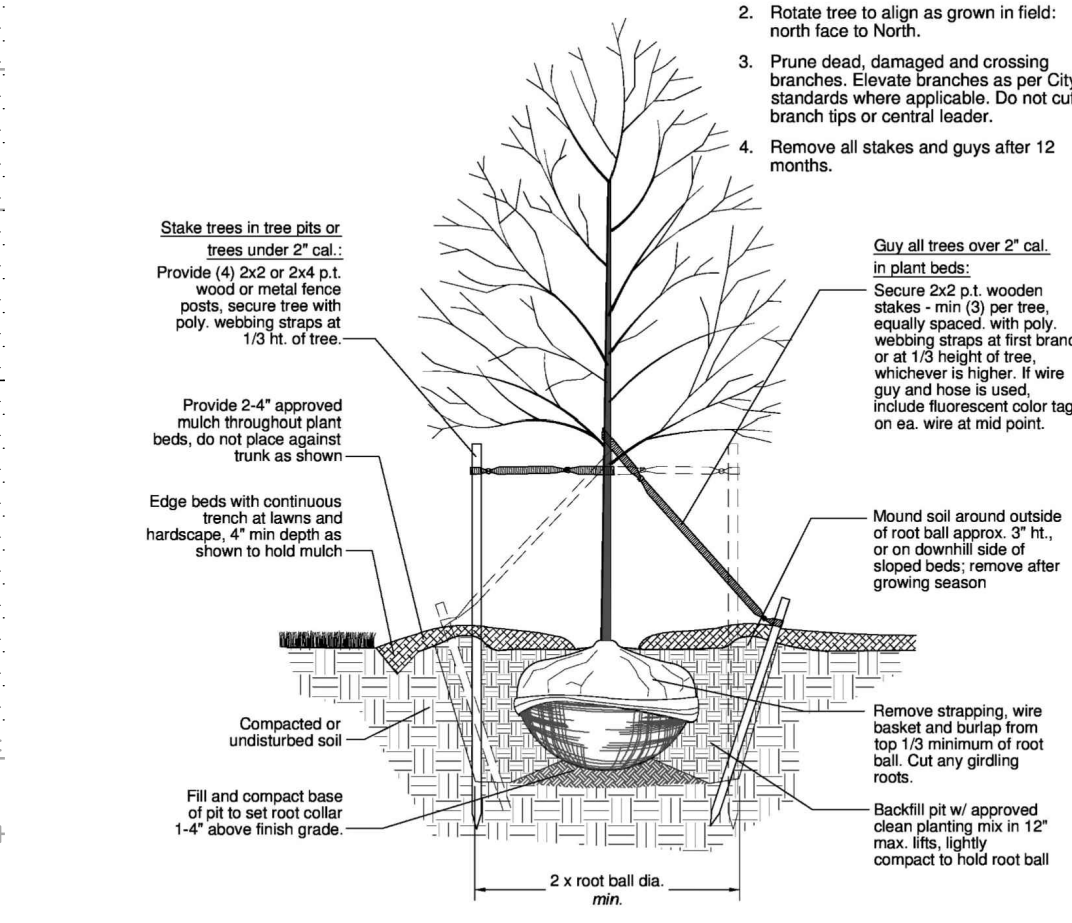
APPLICANT SHALL REPAIR/RELACE ALL DAMAGE TO UTILITIES OR FRONTAGE IMPROVEMENTS IN CITY RIGHT-OF-WAY PER CITY STANDARDS THAT IS CAUSED OR OCCURS DURING THE PERMITTED PROJECT.



BLD

APPROVED FOR CONSTRUCTION
CITY OF EDMONDS

DATE: _____
BY: _____
CITY ENGINEERING DIVISION



TREE PLANTING DETAIL
NOT TO SCALE

TREE SCHEDULE

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	ACER CIRCINATUM / VINE MAPLE	3	MIN. 1-1/2" CALIPER

TREE NOTES

- THERE ARE NO SIGNIFICANT TREES (6" DBH) AS DEFINED BY ECDC 23.10.020.R.
- 3 SIGNIFICANT TREES TO BE PLANTED PER PLANTING REQUIREMENTS ECDC 23.10.060.C.5.
- ORANGE PROTECTIVE BARRIER FENCING SHALL BE PLACED AT THE DRIP LINE OF TREES TO REMAIN AND AROUND AREAS PROPOSED FOR LOW IMPACT DEVELOPMENT TECHNIQUES, SUCH AS RAIN GARDENS, INFILTRATION SYSTEMS, ETC., TO PROTECT THE AREA FROM COMPACTION.

UTILITY SEPARATION REQUIREMENTS

- WATER**
- 18" MINIMUM COVER FOR WATER SERVICES.
 - 3" MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICES AND ALL OTHER UTILITIES, EXCEPT SANITARY SEWER.
 - 10" HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS OR SERVICES.
 - 12" MINIMUM VERTICAL SEPARATION, FOR PERPENDICULAR CROSSINGS, BETWEEN WATER MAINS OR SERVICES AND ALL OTHER UTILITIES, EXCEPT SANITARY SEWER.
- SANITARY SEWER**
- 2" MINIMUM COVER FOR SIDE SEWERS & LATERALS.
 - 5" MINIMUM HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND ALL OTHER UTILITIES, EXCEPT WATER.
 - 10" HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS OR SERVICES.
 - 12" MINIMUM VERTICAL SEPARATION, FOR PERPENDICULAR CROSSINGS, BETWEEN SANITARY SEWER AND ALL OTHER UTILITIES, EXCEPT WATER.
 - 18" MINIMUM VERTICAL SEPARATION BETWEEN WATER AND SEWER; SEWER LAID BELOW WATER.
- STORM**
- 1" MINIMUM COVER REQUIRED IN LANDSCAPE AREAS; 2" MINIMUM COVER REQUIRED UNDER DRIVABLE SURFACES, UNLESS DUCTILE IRON PIPE IS USED.
 - 5" MINIMUM HORIZONTAL SEPARATION BETWEEN STORM AND ALL OTHER UTILITIES.
- OUTSIDE AGENCY UTILITIES**
- 36" MINIMUM COVER FOR JOINT GAS, ELECTRIC, TELEPHONE, CABLE TV SERVICE AND CONDUCTORS.
 - 36" MINIMUM COVER FOR A PRIMARY DISTRIBUTION SYSTEM.

ELECTRIC VEHICLE CHARGING STATION NOTE

THE VEHICLE PARKING SPACE WITHIN THE GARAGE SHALL BE ELECTRIC VEHICLE READY. THE GARAGE SHALL INCLUDE A FULLY-WIRED CIRCUIT WITH LEVEL II OR LEVEL III (PER ECDC 17.115) ELECTRICAL VEHICLE CHARGING RECEPTACLE OUTLET OR TERMINATION POINT, INCLUDING CONDUIT AND WIRING AND THE ELECTRICAL SERVICE CAPACITY (208 V/40 AMP MINIMUM) NECESSARY TO SERVE THE RECEPTABLE, THAT ALLOWS FOR FUTURE INSTALLATION OF AN ELECTRICAL VEHICLE CHARGING STATION.

SIDE SEWER NOTES

- IF THE EXISTING SEWER LATERAL IS PROPOSED TO BE REUSED, THE CITY'S PUBLIC WORKS DEPARTMENT WILL NEED TO TV THE LATERAL TO DETERMINE IF IT IS ACCEPTABLE TO RE-LINE OR IF REPLACEMENT WILL BE REQUIRED. CONTACT ENGINEERINGPERMITS@EDMONDSWA.GOV TO SCHEDULE INSPECTION.
- SEWER LATERAL FROM FROM THE MAIN TO THE PROPERTY LINE SHALL BE 6". ONCE ON PRIVATE PROPERTY THE SIDE SEWER MAY BE REDUCED TO 4".

SITE SLOPES
LOT SLOPE: 3.0%
MAX DRIVEWAY SLOPE: 11.4%

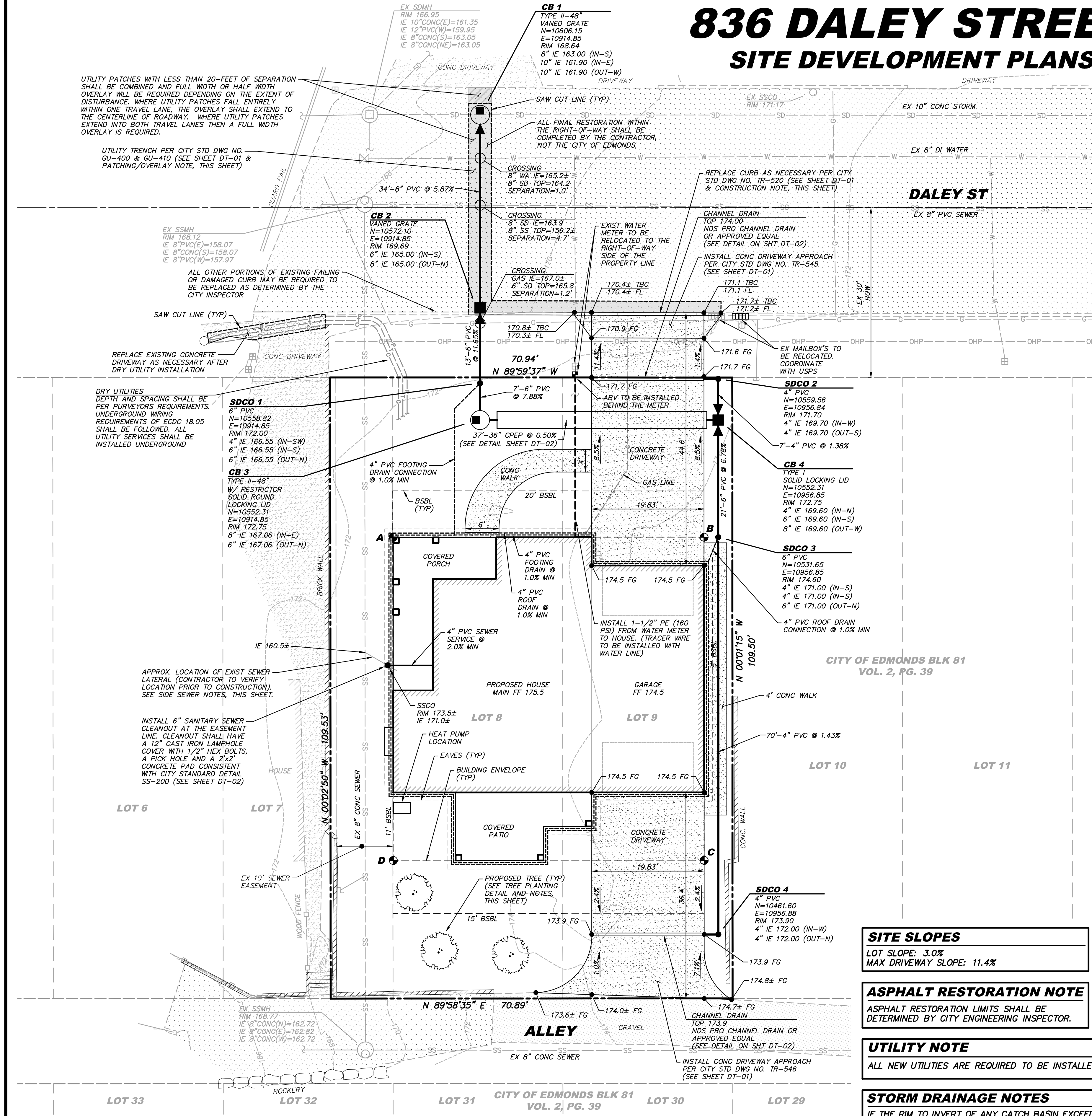
ASPHALT RESTORATION NOTE
ASPHALT RESTORATION LIMITS SHALL BE DETERMINED BY CITY ENGINEERING INSPECTOR.

UTILITY NOTE
ALL NEW UTILITIES ARE REQUIRED TO BE INSTALLED UNDERGROUND.

STORM DRAINAGE NOTES
IF THE RIM TO INVERT OF ANY CATCH BASIN EXCEEDS 5 FEET A TYPE II CATCH BASIN WILL BE REQUIRED.
FOOTING DRAINS TO CONNECT TO DETENTION PIPE.

STORMWATER CONTROL SUMMARY
PROJECT SITE CATEGORY: CATEGORY 1
DISCHARGE LOCATION: CITY MS4 IN DALEY STREET

TYPE OF AREA	SQ. FT.	STORMWATER FACILITY
LAWN & LANDSCAPE	3,189 SF	SOIL AMENDMENTS 75.13
ROOFS	2,950 SF	STORMWATER BMP DETENTION PIPE
HARD SURFACES	1,627 SF	STORMWATER BMP DETENTION PIPE



BUILDING HEIGHT CALCULATIONS (AEG)

ELEVATION A:	172.92
ELEVATION B:	174.23
ELEVATION C:	174.34
ELEVATION D:	173.24
TOTAL:	694.73
AVERAGE ORIGINAL GRADE (AOG)	173.68
MAIN FINISHED FLOOR	175.50
ROOF AT RIDGE	197.88
ALLOWABLE BUILDING HEIGHT (173.68 + 25 FT)	198.68

HARD SURFACE AREAS

HOUSE+COVERED D/W, PATIO, PORCH, WALK	2,950 SF
UNCOVERED PATIO AND WALK	256 SF
UNCOVERED DRIVEWAY	1,371 SF
TOTAL	4,577 SF

LOT COVERAGE

LOT AREA:	7,766 SF
ALLOWABLE COVERAGE (35%):	2,718 SF
HOUSE, COVERED DECK & GARAGE:	2,605 SF
PERCENT COVERAGE:	33.54%

SOILS NOTE
ALL DISTURBED SOILS WILL BE COMPOST AMENDED PER CITY OF EDMONDS STD DETAIL SD-642. (SEE DETAIL, SHEET TP-01).

PROJECT CLASSIFICATION
PROJECT CLASSIFICATION: CATEGORY 1
EDMONDS WATERSHED BASIN: SHELL CREEK
FLOW CONTROL STANDARD: EXEMPT, LESS THAN 10,000 SF
STORMWATER BMPS: DETENTION PIPE
POST CONSTRUCTION SOIL AMENDMENT (TS.13)

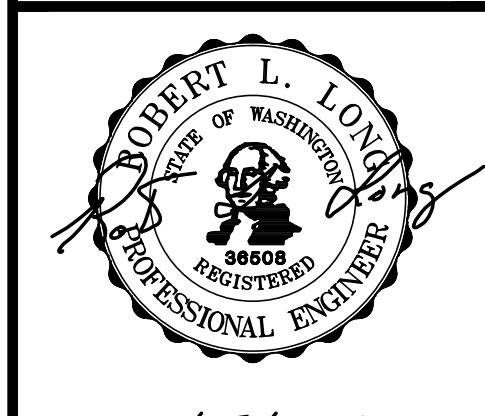
REVISION	DESCRIPTION	DATE

WASHINGTON

836 DALEY STREET
BLD

PLN2024-0021

RECEIVED
Mar 12 2024
CITY OF EDMONDS DEVELOPMENT SERVICES DEPARTMENT



3/07/2024

ENGINEER: ROB L. LONG, PE
DRAWN BY: BRIAN CLARK
ISSUE DATE: 3/07/24 SCALE: AS NOTED
JOB NO: 24-001
SHEET: SP-01
SHT 1 OF 5

24-001
Mar 07, 2024 - 3:37pm - User: RobL
N:\24-001 (Dwg)\Final\24001SP.dwg

GENERAL NOTES

- 1. ALL MATERIALS AND WORK SHOWN ON THESE PLANS SHALL CONFORM TO THE CITY OF EDMONDS STANDARD PLANS AND DETAILS, THE FOLLOWING SPECIFICATIONS AND CODES...
2. STANDARD PLAN AND TYPE NUMBERS INDICATED ON THESE DRAWINGS REFER TO CITY OF EDMONDS STANDARD DETAILS, UNLESS NOTED OTHERWISE...
3. A COPY OF THESE APPROVED PLANS MUST BE ON THE JOBSITE WHENEVER CONSTRUCTION IS IN PROGRESS...
4. DEVIATIONS FROM THESE PLANS MUST BE APPROVED BY THE ENGINEER OF RECORD AND THE LOCAL GOVERNING AUTHORITY...
5. CONTRACTOR SHALL RECORD ALL APPROVED DEVIATIONS FROM THESE PLANS ON A SET OF "AS-BUILT" DRAWINGS AND SHALL SUMMARIZE ALL AS-BUILT CONDITIONS ON ONE SET OF REPRODUCIBLE DRAWINGS FOR SUBMITTAL TO THE OWNER PRIOR TO PROJECT COMPLETION AND ACCEPTANCE...
6. ELEVATIONS SHOWN ARE IN FEET. SEE SURVEY FOR BENCHMARK INFORMATION...
7. THE LOCATIONS OF EXISTING UTILITIES AND SITE FEATURES SHOWN HEREON HAVE BEEN FURNISHED BY OTHERS BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE...
8. CONTRACTOR SHALL LOCATE AND PROTECT ALL UTILITIES DURING CONSTRUCTION AND SHALL CONTACT THE UNDERGROUND UTILITIES LOCATION SERVICE (1-800-424-5555) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION...
9. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE PROJECT SITE BEFORE STARTING WORK AND SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES...
10. PIPE LENGTHS WHERE SHOWN ARE APPROXIMATE AND MAY CHANGE DUE TO FIELD CONDITIONS...
11. CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECHNICAL REPORT (WHERE APPLICABLE) AND SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE CONTENTS THEREOF...
12. STRUCTURAL FILL MATERIAL AND PLACEMENT SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT...
13. SUBGRADE SOILS IN ALL AREAS WHERE RAIN GARDENS, INFILTRATION OR PERVIOUS PAVEMENT IS TO BE PLACED SHALL BE DELINEATED AND PROTECTED AT ALL TIMES FROM COMPACTIVE ACTIVITIES...
14. MANHOLES, CATCH BASINS, UTILITIES AND PAVEMENT SHALL BEAR ON MEDIUM DENSE TO VERY DENSE NATIVE SOIL OR COMPACTED STRUCTURAL FILL...
15. SEE SURVEY AND ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND LOCATIONS OF BUILDINGS, LANDSCAPED AREAS AND OTHER PROPOSED OR EXISTING SITE FEATURES...
16. SEE ARCHITECTURAL DRAWINGS FOR PERIMETER FOUNDATION DRAINS. FOUNDATION DRAINS SHALL BE INDEPENDENT OF OTHER SITE DRAIN LINES AND SHALL BE TIGHTLINED TO THE STORM DRAIN SYSTEM WHERE INDICATED ON THE PLANS...
17. ALL REQUIRED STORMWATER FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO INSTALLATION OF ANY PAVEMENT UNLESS OTHERWISE APPROVED BY THE ENGINEER...
18. ALL ROOF DRAINS, CATCH BASINS AND OTHER EXTERNAL DRAINS SHALL BE CONNECTED TO THE STORM DRAINAGE SYSTEM, UNLESS NOTED OTHERWISE...
19. ALL FOOTING DRAINS SERVING BUILDINGS, WALLS, ROCKERIES, ETC. SHALL CONNECT TO THE DRAINAGE SYSTEM OR INDIVIDUAL DRYWELLS...
20. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR INSTALLATION OF ALL SITE IMPROVEMENTS INDICATED ON THESE DRAWINGS...
21. A SEPARATE IRRIGATION PERMIT MUST BE OBTAINED FROM THE CITY PUBLIC WORKS DEPARTMENT. PRIOR TO FINAL CONSTRUCTION ACCEPTANCE, PROVIDE TO THE CITY WATER QUALITY TECHNICIAN, A COPY OF THE BACKFLOW TEST REPORT...
22. AS A MINIMUM REQUIREMENT, ALL DISTURBED AREAS ON AND OFF SITE SHALL BE RETURNED TO THE EQUIVALENT OF THEIR PRECONSTRUCTION CONDITION IN ACCORDANCE WITH APPROPRIATE REQUIREMENTS AND STANDARDS...
23. ALL DISTURBED SOIL AREAS SHALL BE COMPOST AMENDED AND SEEDED OR STABILIZED BY OTHER ACCEPTABLE METHODS FOR THE PREVENTION OF ONSITE EROSION AFTER THE COMPLETION OF CONSTRUCTION...
24. THE CONTRACTOR SHALL KEEP OFF-SITE STREETS CLEAN AT ALL TIMES BY SWEEPING...
25. THIS PROJECT IS NOT A BALANCED EARTHWORK PROJECT. BOTH EXPORT AND IMPORT OF SOIL AND ROCK MATERIALS ARE REQUIRED...
26. SLOPE OF FINISHED GRADE SHALL BE CONSTANT BETWEEN FINISHED CONTOURS OR SPOT ELEVATIONS SHOWN...
27. FINISHED GRADE SHALL SLOPE AWAY FROM BUILDING WALLS AT MINIMUM 5% SLOPE FOR A MINIMUM DISTANCE OF 10 FEET...
28. CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL INSTALL AND MAINTAIN SHORING AND BRACING AS NECESSARY TO PROTECT WORKERS, EXISTING BUILDINGS, STREETS, WALKWAYS, UTILITIES AND OTHER EXISTING AND PROPOSED IMPROVEMENTS AND EXCAVATIONS AGAINST LOSS OF GROUND OR CAVING EMBANKMENTS...
29. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY AND FOLLOW CITY PROCEDURES FOR ALL WATER SERVICE INTERRUPTIONS, HYDRANT SHUTOFFS, STREET CLOSURES OR OTHER ACCESS RESTRICTIONS...
30. COORDINATE AND ARRANGE FOR ALL UTILITY CONNECTIONS, UTILITY RELOCATIONS AND/OR SERVICE INTERRUPTIONS WITH THE AFFECTED OWNERS AND APPROPRIATE UTILITY COMPANIES...
31. ALL UTILITIES SHALL BE PLACED UNDERGROUND...
32. EXISTING UTILITY LINES IN SERVICE WHICH ARE DAMAGED DUE TO CONSTRUCTION WORK SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE AND INSPECTED AND ACCEPTED BY CITY OF EDMONDS AND OWNER'S REPRESENTATIVE PRIOR TO BACKFILLING...
33. NEW UTILITY LOCATIONS ARE GENERALLY SHOWN BY DIMENSION, WHERE NO DIMENSIONS ARE INDICATED, LOCATIONS MAY BE SCALED FROM DRAWINGS...
34. FIELD STAKE ALL UTILITY STUBS AT THE PROPERTY LINE...
35. TRENCH BACKFILL OF UTILITIES LOCATED WITHIN THE CITY RIGHT-OF-WAY SHALL BE COMPACTED TO 95% COMPACTION TEST REPORTS SHALL BE PROVIDED TO THE CITY PRIOR TO PAVING...
36. WHERE NEW PIPE CLEARS AN EXISTING OR NEW UTILITY BY 6" OR LESS, PLACE ETHAFOAM 200 CUSHION BETWEEN THE UTILITIES...
37. SEE MECHANICAL DRAWINGS (WHERE APPLICABLE) FOR CONTINUATION OF SITE UTILITIES WITHIN THE BUILDING...
38. SEE ELECTRICAL DRAWINGS (WHERE APPLICABLE) FOR EXTERIOR ELECTRICAL WORK...
39. SEE LANDSCAPE DRAWINGS (WHERE APPLICABLE) FOR SITE IRRIGATION SYSTEM...
40. PIPE MATERIAL AND SIGNAGE SUBMITTALS SHALL BE PROVIDED TO CITY ENGINEERING DIVISION FOR APPROVAL PRIOR TO INSTALLATION.

TESC NOTES

- 1. ESC MINIMUM REQUIREMENT-CONSTRUCTION ACCESS ROUT. CONSTRUCTION VEHICLE ACCESS SHALL BE, WHENEVER PRACTICAL, LIMITED TO ONE ROUTE...
2. ESC MINIMUM REQUIREMENT-STABILIZATION OF EXPOSED AREAS. ALL SOILS EXPOSED BY LAND DISTURBING ACTIVITIES SHALL BE STABILIZED BY SUITABLE APPLICATION OF BMPs...
3. ESC MINIMUM REQUIREMENT-PROTECTION OF ADJACENT PROPERTIES. ADJACENT PROPERTIES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION BY APPROPRIATE USE OF VEGETATIVE BUFFER STRIPS...
4. ESC MINIMUM REQUIREMENT- MAINTENANCE. ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE REGULARLY INSPECTED AND MAINTAINED BY THE OWNER...
5. ESC MINIMUM REQUIREMENT-OTHER BMPs. AS REQUIRED BY THE CITY, OTHER APPROPRIATE BMPs TO MITIGATE THE EFFECTS OF INCREASED RUNOFF SHALL BE APPLIED...
6. EROSION AND SEDIMENT CONTROL REQUIREMENT- UNDERGROUND UTILITY CONSTRUCTION. THE CONSTRUCTION OF UNDERGROUND UTILITY LINES SHALL SPECIFICALLY ADDRESS THE FOLLOWING:
a. EROSION CONTROL FOR EXCAVATED AND STOCKPILED MATERIALS;
b. THE PLACEMENT OF EXCAVATED MATERIAL WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES;
c. TRENCH DEWATERING SYSTEMS (MUST DISCHARGE INTO SEDIMENT TRAPS, SEDIMENT PONDS, OR OTHER ACCEPTABLE MEANS);
d. TRACKING AND SPILLING OF MATERIALS ON STREETS DUE TO HAULING;
e. DAILY CLEANUP AND STREET MAINTENANCE...
7. ADDITIONAL ESC MINIMUM REQUIREMENTS FOR LARGER DEVELOPMENTS. ALL NEW DEVELOPMENT AND REDEVELOPMENT THAT INCLUDED LAND DISTURBING ACTIVITIES OF GREATER THEN, OR EQUAL TO, ONE ACRE IN ADDITION TO MEETING THE MINIMUM REQUIREMENTS SET FORTH ABOVE SHALL COMPLY WITH ESC REQUIREMENTS LISTED BELOW...
8. ESC MINIMUM REQUIREMENT- DELINEATE CLEARING AND EASEMENT LIMITS. IN THE FIELD, MARK CLEARING LIMITS AND/OR ANY EASEMENTS, SETBACKS, SENSITIVE CRITICAL AREAS AND THE BUFFERS, TREES AND DRAINAGE COURSES...
9. ESC MINIMUM REQUIREMENT-SEDIMENT TRAPPING. PRIOR TO LEAVING THE SITE, STORM WATER RUNOFF SHALL PASS THROUGH A SEDIMENT POND OR SEDIMENT TRAP...
10. ESC MINIMUM REQUIREMENT-CUT AND FILL SLOPES. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION...
11. ESC MINIMUM REQUIREMENT-CONTROLLING OFF-SITE EROSION. PROPERTIES AND WATER WAYS DOWNSTREAM FROM DEVELOPMENT SITES SHALL BE PROTECTED FROM EROSION...
12. ESC MINIMUM REQUIREMENT-STABILIZATION OF TEMPORARY CONVEYANCE CHANNELS AND OUTLETS. ALL TEMPORARY ON-SITE CONVEYANCE CHANNELS SHALL BE DESIGNED, CONSTRUCTED AND STABILIZED TO PREVENT EROSION...
13. ESC MINIMUM REQUIREMENT-STORM DRAIN INLET PROTECTION. ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED...
14. ESC MINIMUM REQUIREMENT-REMOVAL OF TEMPORARY BMPs. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED...
15. EROSION AND SEDIMENT CONTROL REQUIREMENT-DEWATERING CONSTRUCTION SITES. DEWATERING SYSTEMS SHALL DISCHARGE INTO A SEDIMENT TRAP OR SEDIMENT POND...
16. EROSION AND SEDIMENT CONTROL REQUIREMENT-CONTROL OF POLLUTANTS OTHER THAN SEDIMENT ON CONSTRUCTION SITES. ALL POLLUTANTS OTHER THAN SEDIMENT THAT OCCUR ON SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORM WATER...
17. EROSION AND SEDIMENT CONTROL REQUIREMENT-FINANCIAL LIABILITY. PERFORMANCE BONDING, OR OTHER APPROPRIATE FINANCIAL INSTRUMENTS, SHALL BE REQUIRED FOR ALL PROJECTS TO ENSURE COMPLIANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.

TREE PROTECTION NOTES

- 1. ANY WORK INSIDE THE DRIP LINES OF EXISTING TREES MUST TAKE PLACE IN ACCORDANCE WITH EDCD 23.10.070.
2. TREE PROTECTION MEASURES DURING DEVELOPMENT:
A. PRECONSTRUCTION MEETING REQUIRED. PRIOR TO THE COMMENCEMENT OF ANY PERMITTED CLEARING AND GRADING ACTIVITY, A PRECONSTRUCTION MEETING SHALL BE HELD ON SITE WITH THE PERMITTEE AND APPROPRIATE CITY STAFF...
B. PLACING MATERIALS NEAR TREES. NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE PROTECTED AREA OF ANY TREE DESIGNATED TO REMAIN...
C. PROTECTIVE BARRIER. BEFORE DEVELOPMENT, LAND CLEARING, GRADING, FILLING OR ANY LAND ALTERATION, THE APPLICANT SHALL:
1. ERECT AND MAINTAIN READILY VISIBLE TEMPORARY PROTECTIVE TREE FENCING ALONG THE LIMITS OF DISTURBANCE WHICH COMPLETELY SURROUNDS THE PROTECTED AREA...
2. INSTALL HIGHLY VISIBLE SIGNS SPACED NO FURTHER THAN 15 FEET APART ALONG THE ENTIRETY OF THE PROTECTIVE TREE FENCING...
3. PROHIBIT EXCAVATION OR COMPACTION OF SOIL OR OTHER POTENTIALLY DAMAGING ACTIVITIES WITHIN THE BARRIERS...
4. MAINTAIN THE PROTECTIVE BARRIERS IN PLACE FOR THE DURATION OF THE PROJECT...
5. ENSURE THAT ANY APPROVED LANDSCAPING DONE IN THE PROTECTED ZONE SUBSEQUENT TO THE REMOVAL OF THE BARRIERS SHALL BE ACCOMPLISHED WITH MACHINERY FROM OUTSIDE THE PROTECTED ZONE...
6. LIMIT THE TIME PERIOD THAT THE CRITICAL ROOT ZONE IS COVERED BY MULCH, PLYWOOD, STEEL PLATES OR SIMILAR MATERIALS...
7. IN ADDITION TO THE ABOVE, THE DIRECTOR MAY REQUIRE THE FOLLOWING:
A. IF EQUIPMENT IS AUTHORIZED TO OPERATE WITHIN THE PROTECTED ZONE, THE SOIL AND CRITICAL ROOT ZONE OF A TREE MUST BE COVERED WITH MULCH TO A DEPTH OF AT LEAST SIX INCHES...
B. MINIMIZE ROOT DAMAGE BY HAND-EXCAVATING A TWO-FOOT-DEEP TRENCH AT EDGE OF CRITICAL ROOT ZONE...
C. CORRECTIVE PRUNING PERFORMED ON PROTECTED TREES IN ORDER TO AVOID DAMAGE FROM MACHINERY OR BUILDING ACTIVITY...
D. MAINTENANCE OF TREES THROUGHOUT CONSTRUCTION PERIOD BY WATERING AND FERTILIZING...
D. GRADE
1. THE GRADE SHALL NOT BE ELEVATED OR REDUCED WITHIN THE CRITICAL ROOT ZONE OF TREES TO BE PRESERVED WITHOUT THE DIRECTOR'S AUTHORIZATION...
2. IF THE GRADE ADJACENT TO A PRESERVED TREE IS RAISED SUCH THAT IT COULD SLOUGH OR ERODE INTO THE TREE'S CRITICAL ROOT ZONE...
3. THE APPLICANT SHALL NOT INSTALL AN IMPERVIOUS SURFACE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE...
4. TO THE GREATEST EXTENT PRACTICAL, UTILITY TRENCHES SHALL BE LOCATED OUTSIDE OF THE CRITICAL ROOT ZONE OF TREES...
5. TREES AND OTHER VEGETATION TO BE RETAINED SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION...
6. THE DIRECTOR MAY APPROVE THE USE OF ALTERNATIVE TREE PROTECTION TECHNIQUES IF THOSE TECHNIQUES PROVIDE AN EQUAL OR GREATER DEGREE OF PROTECTION...
E. DIRECTIONAL FELLING. DIRECTIONAL FELLING OF TREES SHALL BE USED TO AVOID DAMAGE TO TREES DESIGNATED FOR RETENTION.

LEGEND - PROPOSED UTILITIES / SURFACE FEATURES
SAWCUT, EASEMENT, BUILDING FOOTPRINT, BUILDING SETBACK, FENCE, GUARDRAIL, BARRICADE, PROPOSED CONTOUR, RETAINING WALL, ROCKERY, MAILBOX, SIGN, STREET LIGHT, STORM DRAIN PIPE, ROOF & FOOTING DRAIN, DITCH, TYPE I CB, TYPE II CB, PIPE FLOW, STORM CLEANOUT, YARD DRAIN, OVERFLOW STRUCTURE, SEWER MAIN, SEWER SERVICE, WATER MAIN, SEWER MANHOLE, PIPE FLOW, SEWER CLEANOUT, FIRE DEPT CONNECTION, WATER METER, IRRIGATION METER, ROCKERY, FIRE HYDRANT, AIR RELEASE VALVE, BLOW OFF, GATE VALVE, TEE W/ BLOCKING, BEND W/ BLOCKING, RESTRAINED JOINT, REDUCER, SLEEVE, COUPLING, DETECTOR CHECK VALVE, POST INDICATOR VALVE (PIV), ROCK CHECK DAM, TEMPORARY CB, TYPE I, TEMPORARY CB, TYPE II, PIPE FLOW, TEMPORARY STAND PIPE, CB PROTECTION, CONSTRUCTION ENTRANCE, FILTER FENCE, CONSTRUCTION FENCE, LIMITS OF CLEARING, INTERCEPTOR SWALE, INTERCEPTOR CULVERT, SLOPE DAGGER, RIPRAP PAD, BERM, GRAVEL, ASPHALT PAVEMENT, SIDEWALK

LEGEND - EXISTING UTILITIES / FEATURES
WIRE FENCE, CHAIN LINK FENCE, WOOD FENCE, DITCH OR SWALE, GUARDRAIL, RETAINING WALL, ROCKERY, ASPHALT, CONCRETE, ASPHALT, CONCRETE, GRAVEL, WETLAND, DRAIN LINE, SURFACE FEATURES, BUILDING FOOTPRINT, TOP OF 40% SLOPE, STEEP SLOPE BUFFER, EDGE OF WETLAND, WETLAND BUFFER, 10' CONTOURS, SD - STORM DRAIN PIPE, SS - SEWER MAIN, FM - SEWER FORCE MAIN, W - WATER MAIN, AHP - AERIAL POWER LINE, P - BURIED POWER LINE, G - GAS MAIN, C - BURIED CABLE, TV - BURIED TV, T - BURIED TELEPHONE LINE, P/T - BURIED POWER/TELEPHONE, FO - BURIED FIBER OPTIC CABLE, EX REBAR, SECTION, QUARTER SECTION, EX MONUMENT, ASPHALT, FLOW, CONCRETE, ASPHALT, GRAVEL, WETLAND, CATCH BASIN, TYPE I, CATCH BASIN, TYPE II, SD PIPE FLOW, YARD DRAIN, STORM CLEANOUT, STORM CULVERT END, SEWER MANHOLE, SEWER CLEANOUT, SS PIPE FLOW, SEPTIC LID, FIRE HYDRANT, WATER METER, GATE VALVE, WATER MANHOLE, AIR/VAC RELEASE VALVE, BLOW OFF, IRRIGATION METER, IRRIGATION VALVE, POWER POLE, GUY ANCHOR, STREET LIGHT, POLE LIGHT, POWER VAULT, TRANSFORMER, POWER METER, JUNCTION BOX, GAS METER, GAS VALVE, FIBER OPTICS MANHOLE, TV RISER, TELECOMM VAULT, TELECOMM RISER, TELECOMM JUNCTION BOX, TRAFFIC SIGNAL, MAIL BOX, SIGN, BOLLARD, SOIL LOG TEST PIT, CONIFEROUS TREE, DECIDUOUS TREE

RAM ENGINEERING, INC. Civil Engineering / Land Planning
19109 36TH AVE W, SUITE 100 LYNNWOOD, WA 98036 PHONE: (425) 678-6960 WWW.RAMENGINEERINGINC.COM

Table with columns: NO, DATE, DESCRIPTION, BY. Revision table for the project.

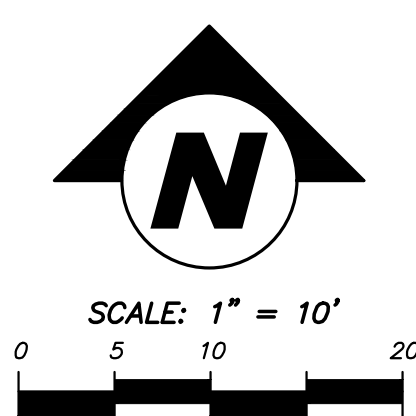
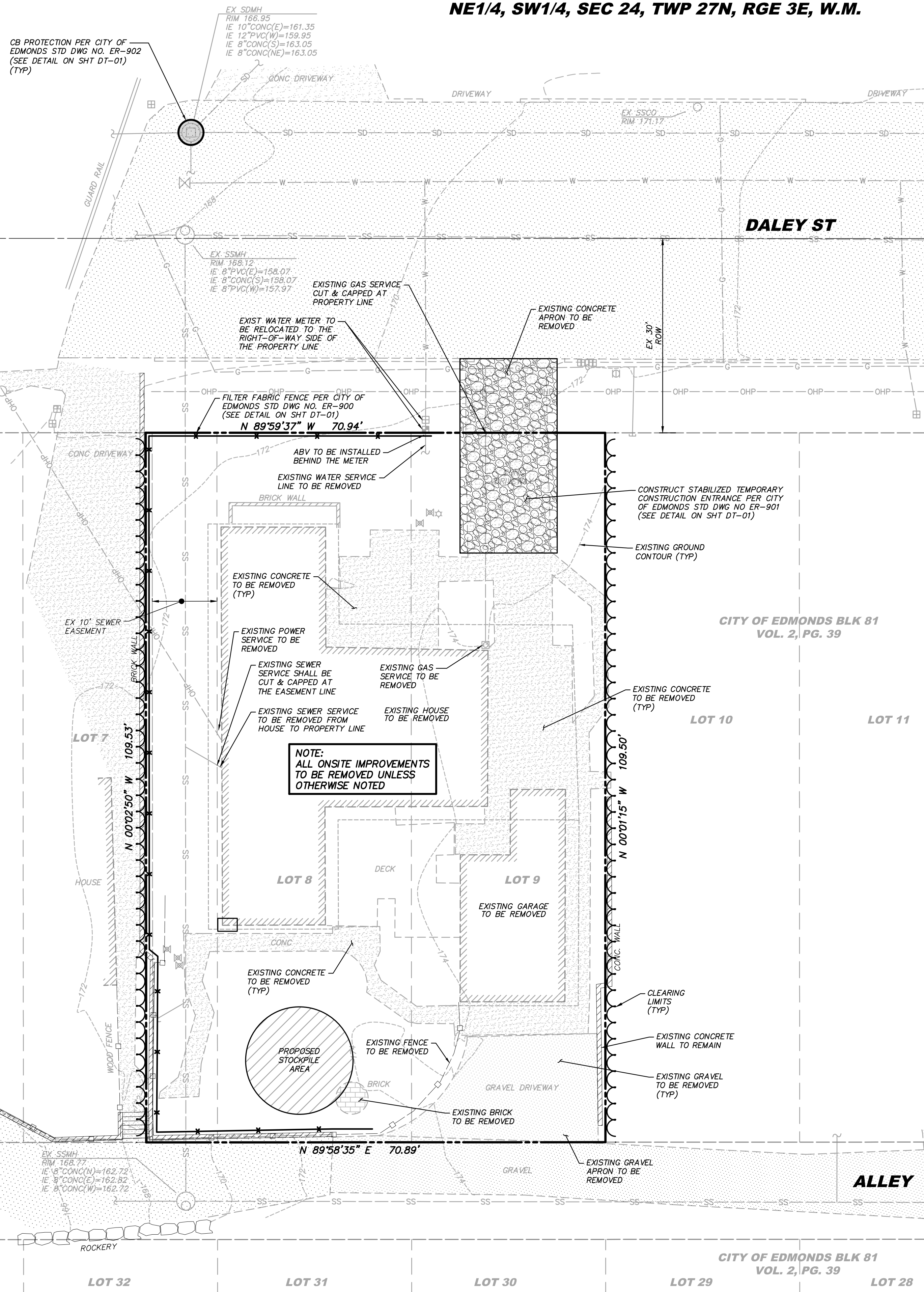
WASHINGTON
836 DALEY STREET BLD
GENERAL NOTES & LEGEND
RECEIVED Mar 12 2024 CITY OF EDMONDS DEPARTMENT SERVICES DEPARTMENT

Professional Engineer Seal for Robert L. Long, State of Washington, License No. 88008.

3/07/2024
ENGINEER: ROB L. LONG, PE
DRAWN BY: BRIAN CLARK
ISSUE DATE: 3/07/24 SCALE: AS NOTED
JOB NO: 24-001
SHEET: GN-01
SHT 2 OF 5

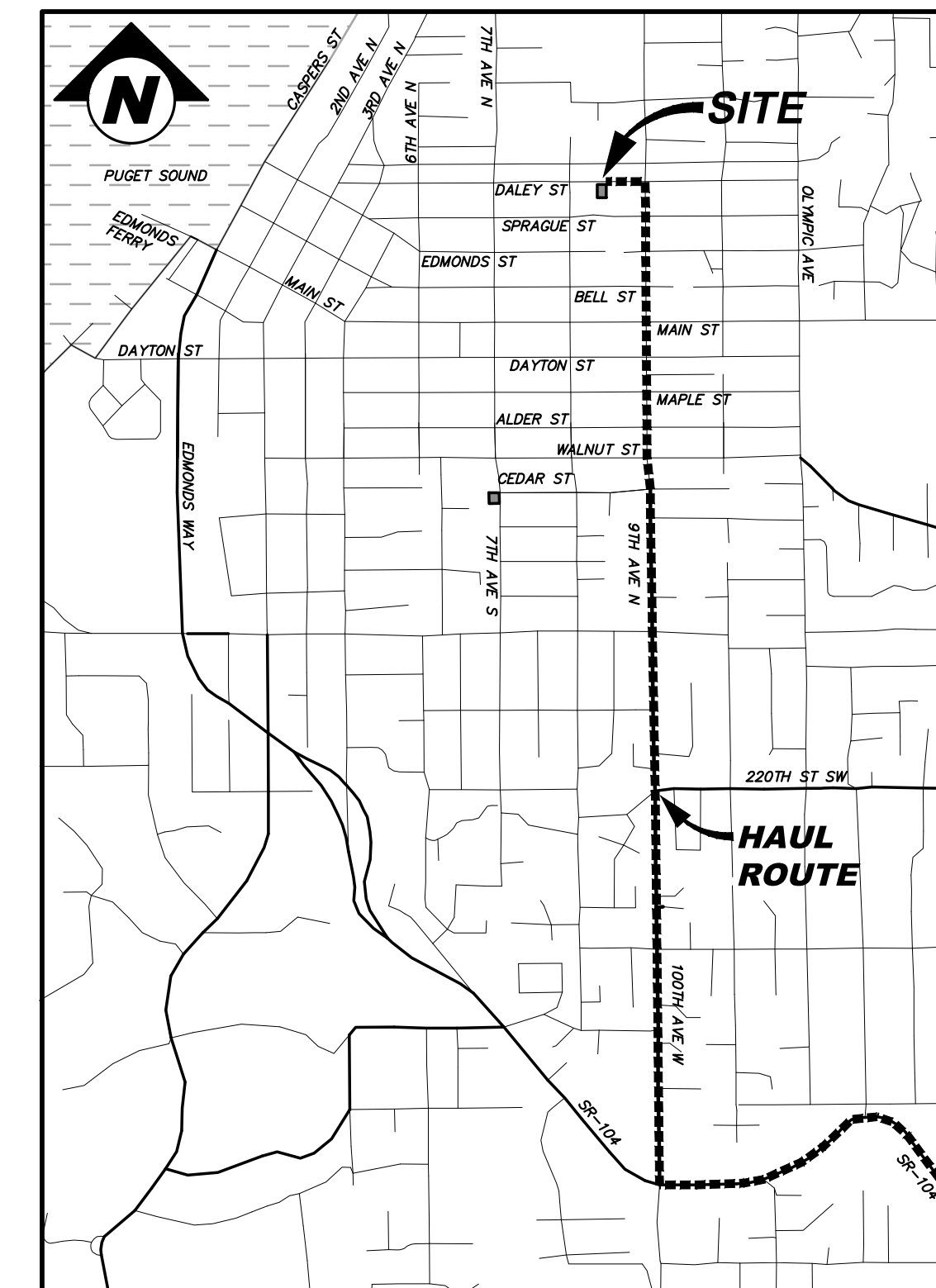
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APPROVED FOR CONSTRUCTION CITY OF EDMONDS
DATE:
BY: CITY ENGINEERING DIVISION





CONSTRUCTION SEQUENCE

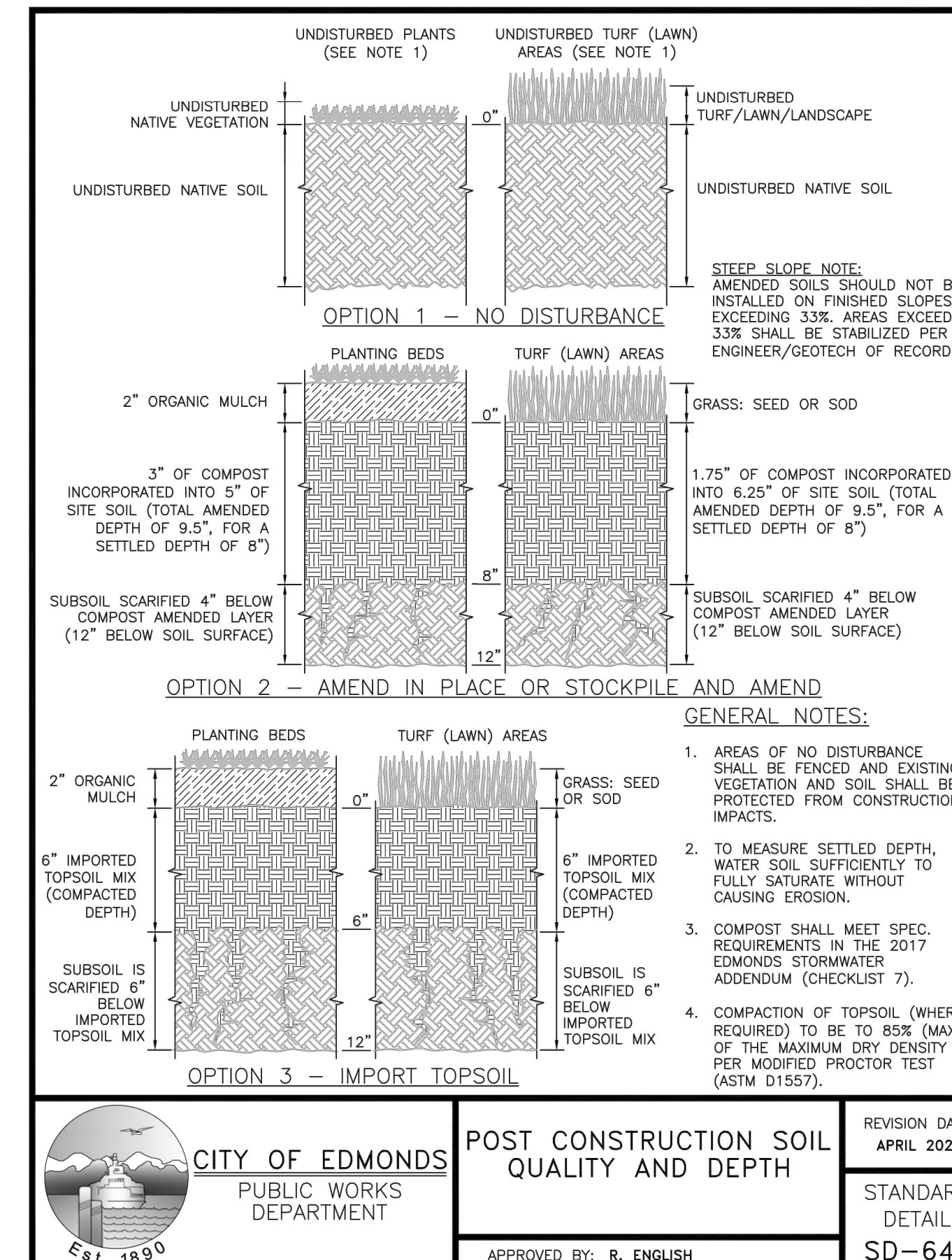
- SCHEDULE PRE-CON THROUGH MYBUILDINGPERMIT.COM AND EMAIL ENGINEERINGPERMITS@EDMONDSWA.GOV 2 DAYS IN ADVANCE OF DATE REQUESTED.
- REVIEW TEMPORARY EROSION AND SEDIMENT CONTROL NOTES.
- CALL FOR UTILITY LOCATES.
- INSTALL TESC MEASURES AND MAINTAIN DUST CONTROL WHILE PREVENTING DISTURBANCE OF ANY AREAS OF VEGETATION OUTSIDE THE CONSTRUCTION ZONE.
- HAVE EROSION CONTROL MEASURES INSPECTED BY CITY OF EDMONDS ENGINEERING INSPECTOR. ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES MUST BE IN PLACE AND INSPECTED PRIOR TO ANY CONSTRUCTION OR SITE CLEARING. EROSION AND SEDIMENTATION CONTROL PRACTICES AND/OR DEVICES SHALL BE MAINTAINED UNTIL PERMANENT VEGETATION IS ESTABLISHED.
- DEMOLISH EXISTING STRUCTURES.
- ROUGH GRADE SITE AS REQUIRED TO INSTALL DRAINAGE FEATURES.
- CLEAR, GRUB & ROUGH GRADE SITE. COMPOST AMEND AND REVEGETATE DISTURBED AREAS NOT SUBJECT TO ADDITIONAL SURFACE DISTURBANCE IMMEDIATELY AFTER ROUGH GRADING. OTHER EXPOSED AREAS SHALL BE STABILIZED PER EROSION CONTROL NOTES BELOW.
- INSTALL UTILITIES AND OTHER SITE IMPROVEMENTS, INCLUDING FRONTAGE IMPROVEMENTS.
- STABILIZE AND COMPOST AMEND ALL EXPOSED SOILS PRIOR TO REVEGETATION OF ENTIRE SITE PER CITY OF EDMONDS STANDARD DETAIL SD-642.
- ESTABLISH LANDSCAPING AND PERMANENT VEGETATION. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL SITE STABILIZATION AND APPROVAL BY CITY INSPECTOR.
- INSTALL INFILTRATION TRENCH. EXCAVATION OF INFILTRATION AREAS SHALL NOT BE ALLOWED DURING WET OR SATURATED CONDITIONS. THE BMP SHALL NOT BE MADE OPERATIONAL UNTIL ALL EROSION-CAUSING PROJECT IMPROVEMENTS ARE COMPLETED AND ALL EXPOSED GROUND SURFACES ARE STABILIZED.



VICINITY/HAUL ROUTE MAP
NOT TO SCALE

HAUL ROUTE NOTE

SINGLE AXLE TRUCKS SHALL BE USED, NO TRAILERS.



SOILS NOTE
ALL DISTURBED SOILS WILL BE COMPOST AMENDED PER CITY OF EDMONDS STD DETAIL SD-642. (SEE DETAIL THIS SHEET).

GRADING QUANTITIES
CUT: ±250 CU YDS
FILL: ±250 CU YDS

1) GRADING QUANTITIES INCLUDE ADDITIONAL CUT AND FILL QUANTITIES POTENTIALLY NEEDED FOR ORGANIC SOIL AMENDMENTS IN ACCORDANCE WITH BMP T5.13 POST CONSTRUCTION SOILS QUALITY AND DEPTH.

2) GRADING QUANTITIES HAVE BEEN ESTIMATED AS SHOWN ABOVE. SITE IMPORT AND EXPORT IS BELOW 10,000 CY AND THUS NO HAUL ROUTE AGREEMENT IS REQUIRED.

FILTER FABRIC FENCE NOTE
ADDITIONAL FILTER FABRIC FENCING SHALL BE ADDED AS NEEDED. FENCING TO BE INSTALLED PER CITY OF EDMONDS STD DETAIL ER-900 (SEE DETAIL ON SHEET DT-01).

STOCKPILE NOTE
STOCKPILE SHALL TO BE STABILIZED BY PLASTIC COVERING. THE EXPOSED SOILS SHALL BE STABILIZED ACCORDING TO AN APPROVED TIMETABLE. (TYPICALLY, NO SOILS SHALL REMAIN EXPOSED FOR MORE THAN TWO DAYS FROM OCTOBER 1 THROUGH APRIL 30 AND NO MORE THAN SEVEN DAYS FROM MAY 1 THROUGH SEPTEMBER 30).

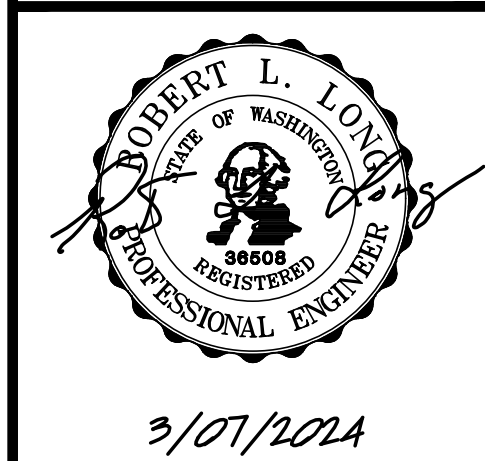
TESC NOTE
INSTALL AND MAINTAIN ALL TESC MEASURES ACCORDING TO APPROVED PLANS, EDMONDS STANDARD DETAILS, AND THE SWPPP. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND ADJUSTMENTS TO TESC MEASURES AS NEEDED.

CB INLET PROTECTION NOTE
CATCH BASIN INLET PROTECTION SHALL BE INSERTED AND MAINTAINED ON ALL NEWLY CONSTRUCTED CATCH BASINS THROUGHOUT THE SITE IMMEDIATELY AFTER INSTALLATION.

NO	DATE	DESCRIPTION

WASHINGTON
CITY OF EDMONDS
836 DALEY STREET
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Mar 12 2024
CITY OF EDMONDS
DEVELOPMENT SERVICES
DEPARTMENT



3/07/2024

ENGINEER: ROBERT L. LONG, PE
DRAWN BY: BRIAN CLARK
ISSUE DATE: 3/07/24 SCALE: AS NOTED
JOB NO: 24-001
SHEET: TP-01
SHT 3 OF 5



BLD
APPROVED FOR CONSTRUCTION
CITY OF EDMONDS

DATE: _____
BY: _____
CITY ENGINEERING DIVISION

REVISION DATE: APRIL 2021
STANDARD DETAIL: SD-642

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NO	DATE	DESCRIPTION

WASHINGTON

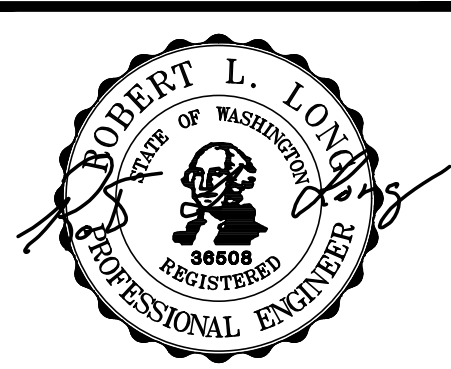
GENERAL DETAILS

836 DALEY STREET

BLD

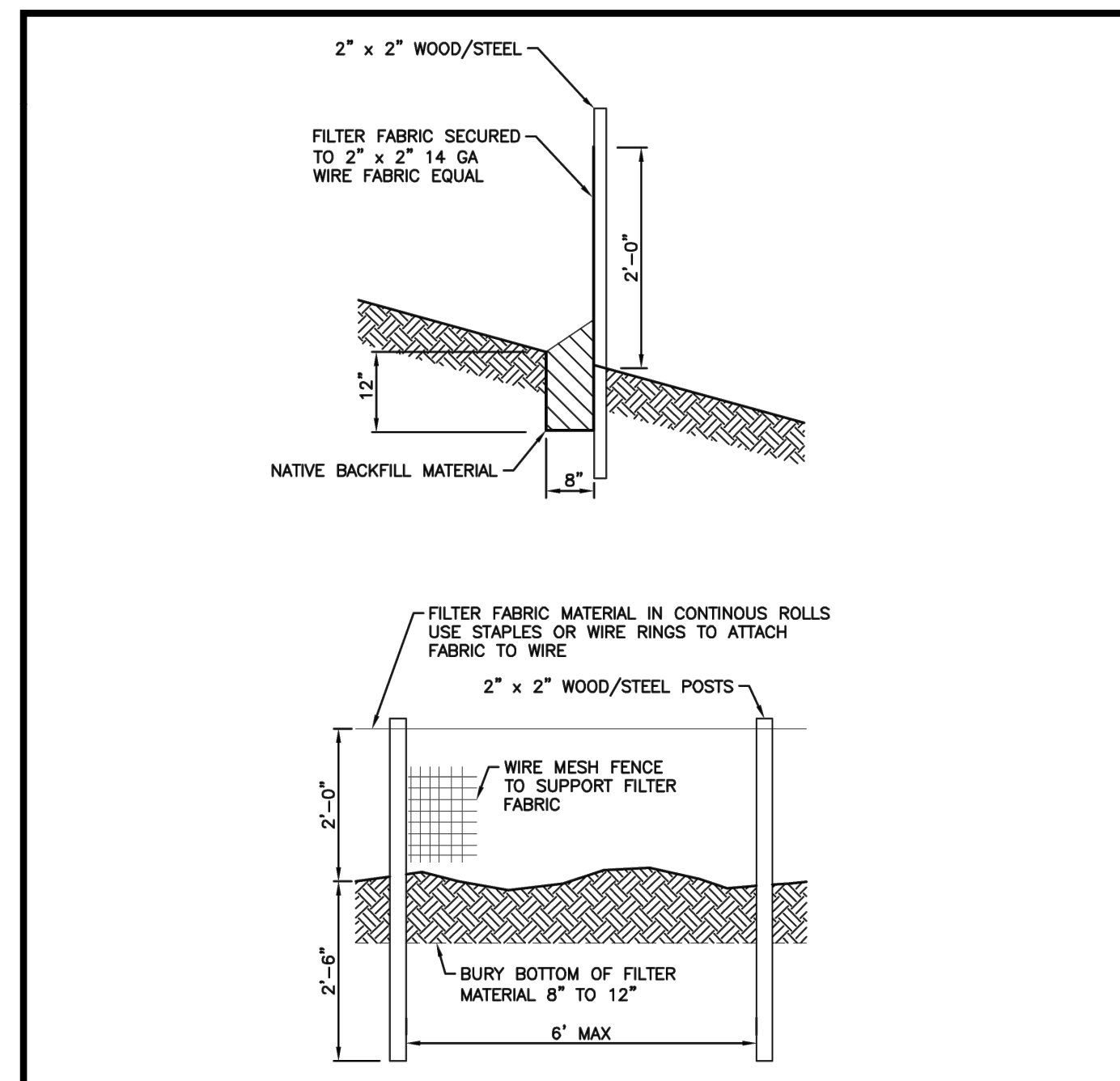
CITY OF EDMONDS

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3/07/2024

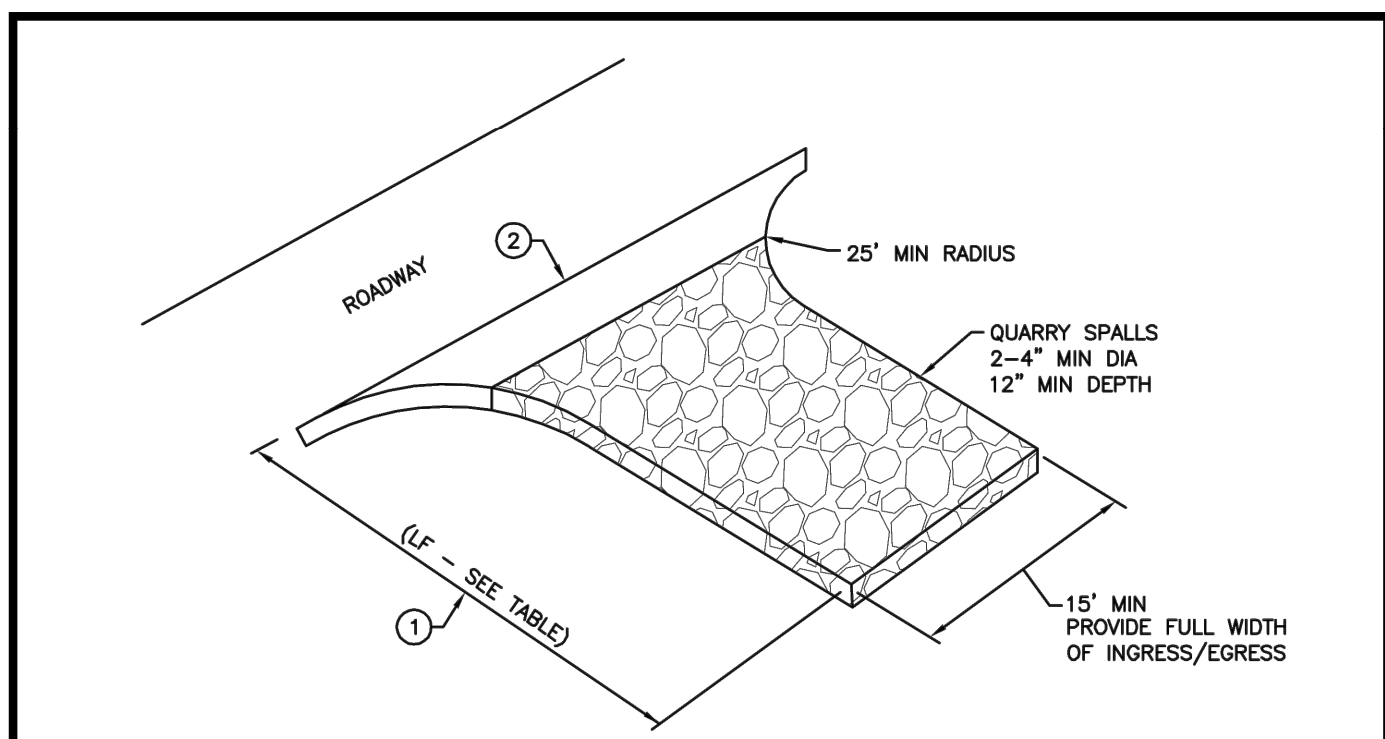
ENGINEER:	ROB L. LONG, PE
DRAWN BY:	BRIAN CLARK
ISSUE DATE:	3/07/24
SCALE:	AS NOTED
JOB NO.:	24-001
SHEET:	DT-01
SHT	4 OF 5



- NOTES:**
- CONTRACTOR/DEVELOPER SHALL MAINTAIN AND ENSURE PROPER EROSION CONTROL THROUGHOUT PROJECT.
 - SILT FENCE TO BE PLACED DOWNSLOPE OF CONSTRUCTION ACTIVITY.

CITY INSPECTION REQUIRED ON ALL EROSION CONTROL METHODS BEFORE OTHER WORK CAN BEGIN

<p>CITY OF EDMONDS PUBLIC WORKS DEPARTMENT</p>	<p>FILTER FABRIC FENCE FILTRATION SYSTEMS</p>	<p>REVISION DATE JANUARY 2018</p>
		<p>STANDARD DETAIL ER-900</p>
<p>APPROVED BY: R. ENGLISH</p>		

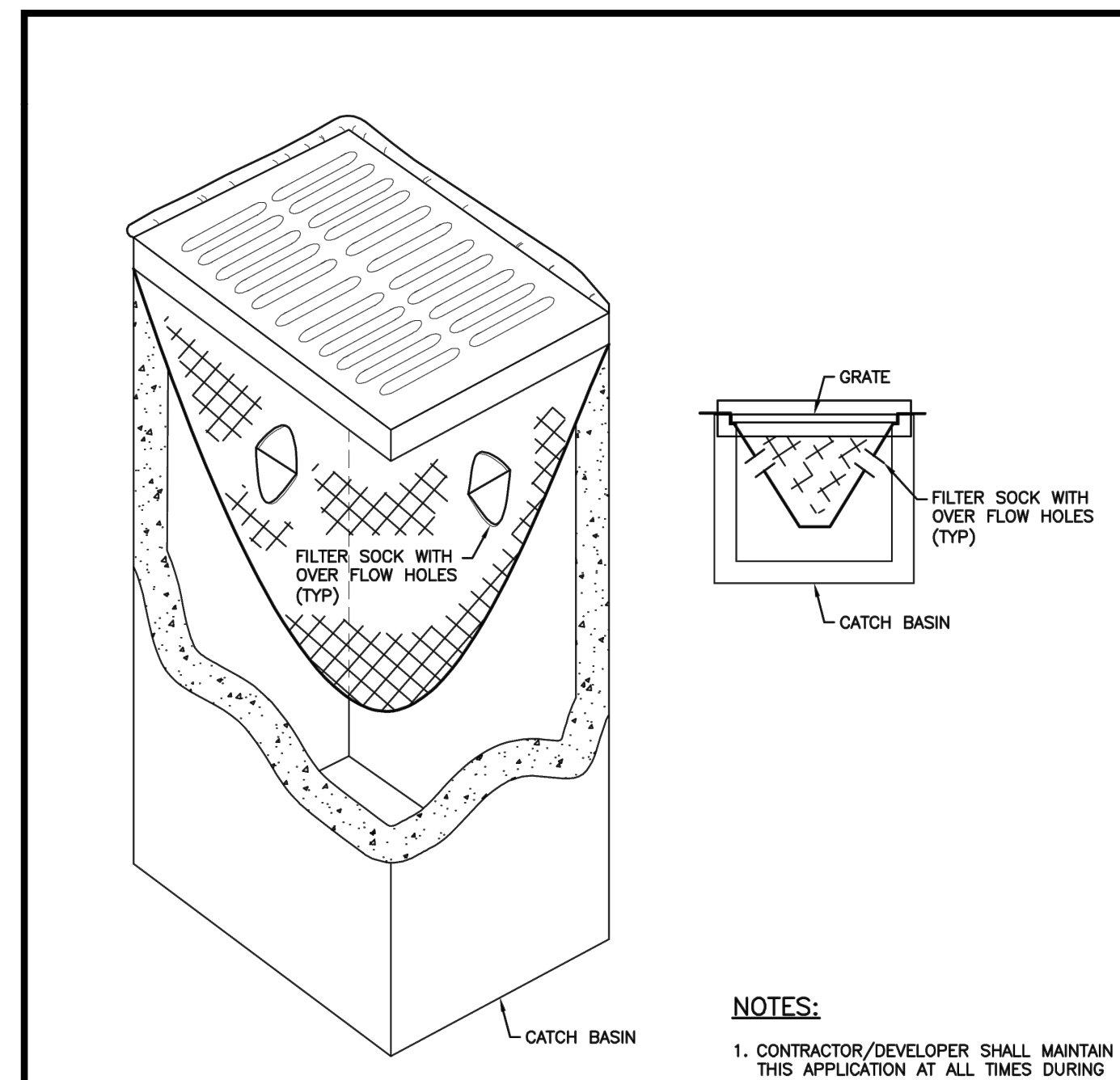


- DETAIL NOTES:**
- THE MINIMUM LENGTH SHALL BE EXTENDED AS NECESSARY TO ENSURE MATERIAL IS NOT TRACKED OFF SITE AND/OR INTO THE PUBLIC RIGHT-OF-WAY.
 - ATB DRIVEWAY RAMP AND/OR SITE ACCESS ROAD 15' WIDE MIN. SEE TABLE BELOW FOR REQUIRED LENGTH.
- NOTES:**
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT OFF SITE AND/OR ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL QUARRY SPALLS AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED OFF SITE AND/OR ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO LEAVING THE SITE. WHEN WASHING IS USED, IT SHALL BE DONE ON AN AREA STABILIZED WITH QUARRY SPALLS AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

PROJECT SIZE	MIN LENGTH OF (FEET)	PROVIDE ATB OR ASPHALT TRANSITION WHERE FRONTAGE ROAD IS AN ARTERIAL
< 1/4 ACRE	30	LENGTH TO BE DETERMINED BY CITY INSPECTOR.
< 3 ACRE	100	
> 3 ACRE	100	

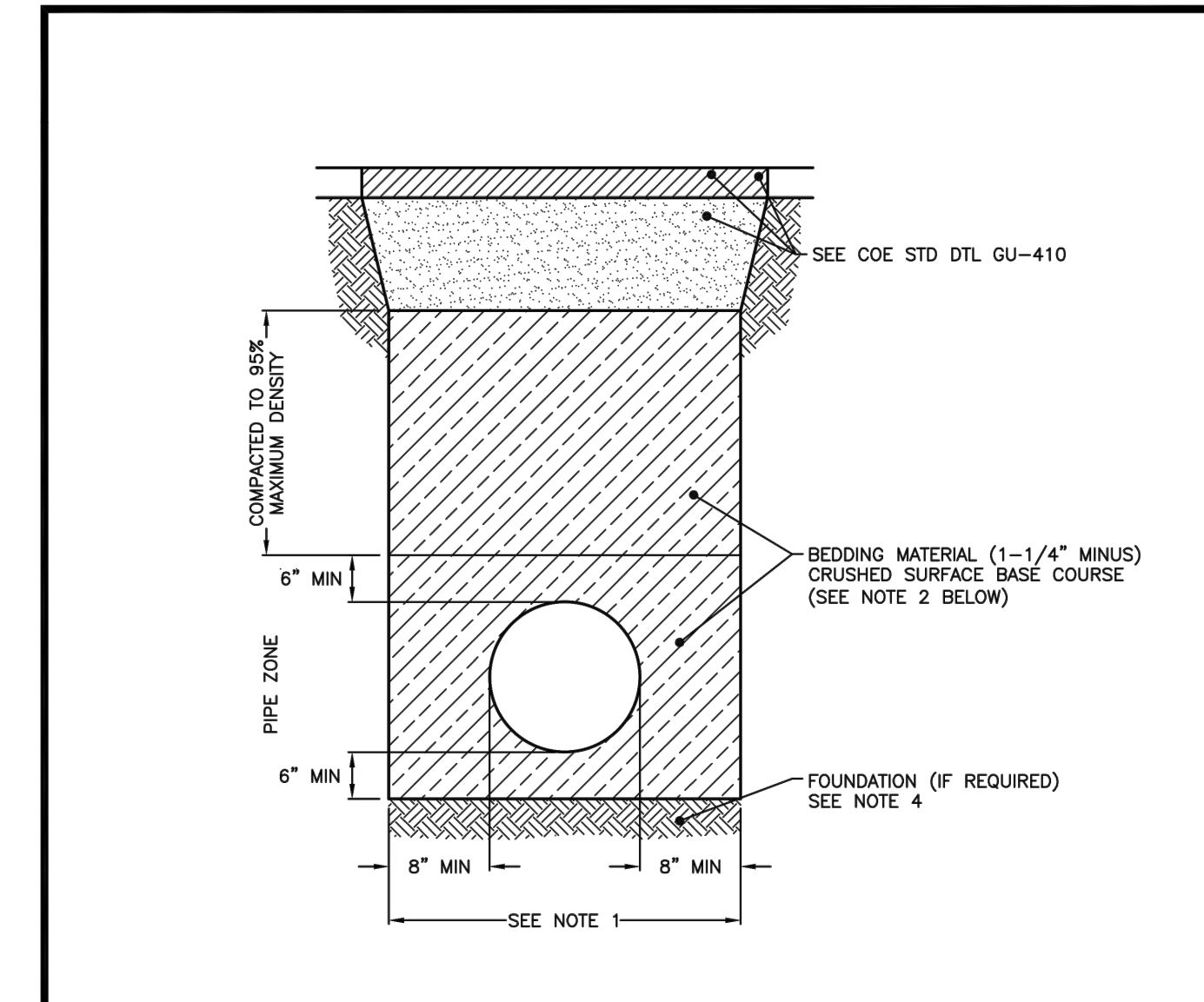
CITY INSPECTION REQUIRED ON ALL EROSION CONTROL METHODS BEFORE OTHER WORK CAN BEGIN

<p>CITY OF EDMONDS PUBLIC WORKS DEPARTMENT</p>	<p>STABILIZED CONSTRUCTION ENTRANCE</p>	<p>REVISION DATE JANUARY 2018</p>
		<p>STANDARD DETAIL ER-901</p>
<p>APPROVED BY: R. ENGLISH</p>		



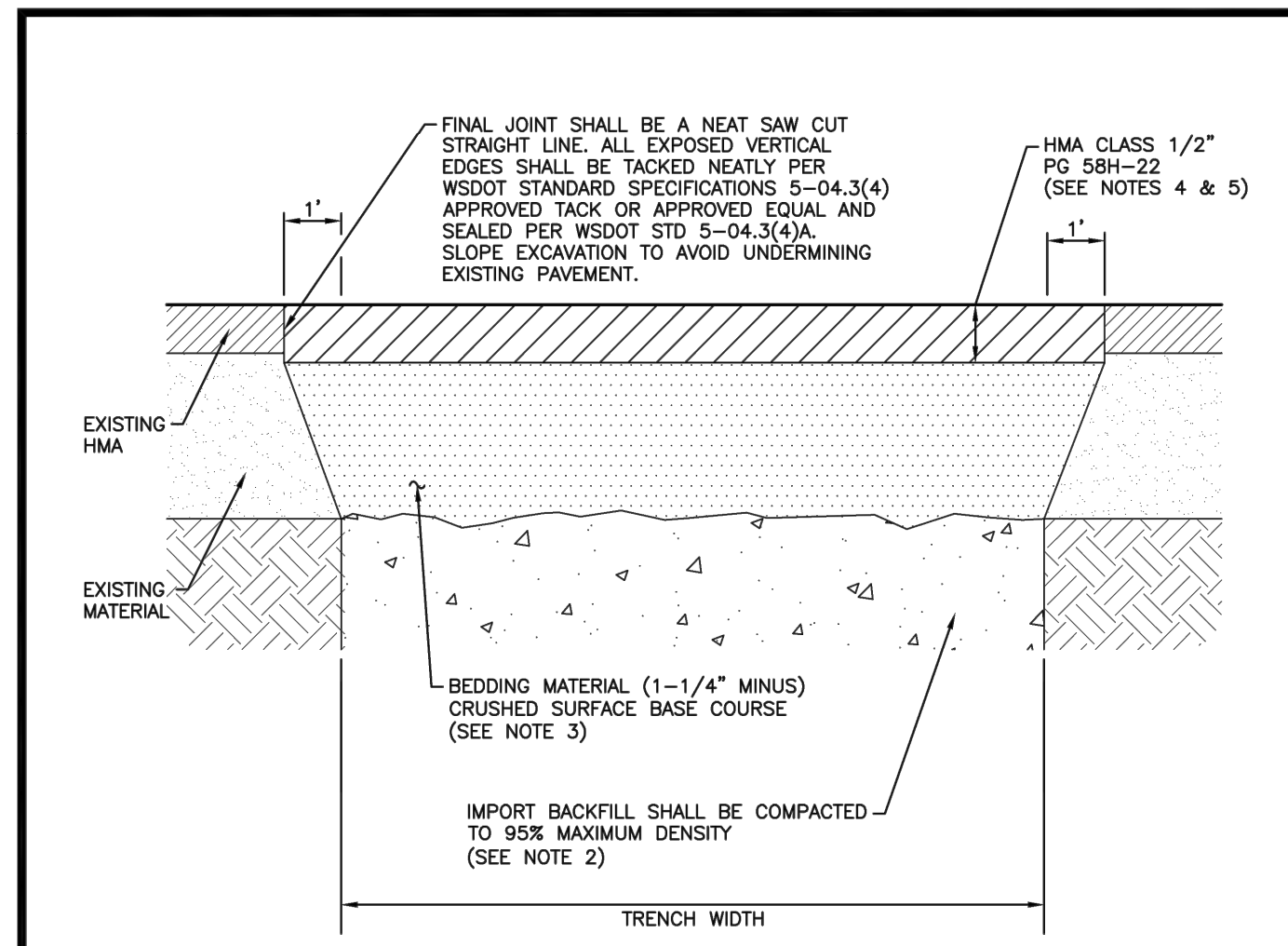
- NOTES:**
- CONTRACTOR/DEVELOPER SHALL MAINTAIN THIS APPLICATION AT ALL TIMES DURING CONSTRUCTION PERIOD.
 - ANY SEDIMENT IN CATCH BASIN INSERT SHALL BE REMOVED WHEN INSERT IS ONE-THIRD FULL.
 - CITY INSPECTION REQUIRED ON ALL EROSION CONTROL METHODS BEFORE OTHER WORK CAN BEGIN.

<p>CITY OF EDMONDS PUBLIC WORKS DEPARTMENT</p>	<p>TEMPORARY SEDIMENT TRAP FOR CATCH BASINS</p>	<p>REVISION DATE JANUARY 2018</p>
		<p>STANDARD DETAIL ER-902</p>
<p>APPROVED BY: R. ENGLISH</p>		



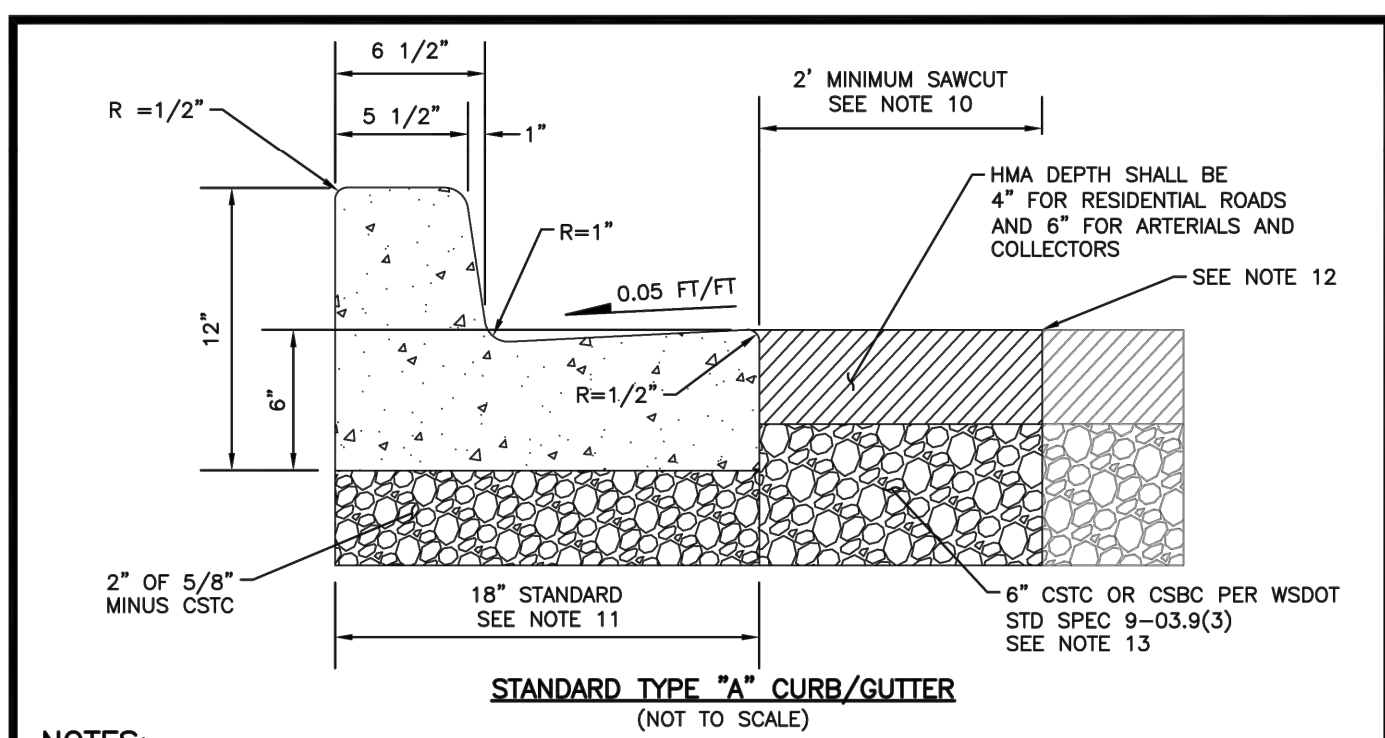
- NOTES:**
- MAXIMUM WIDTH OF TRENCH AT TOP OF PIPE
 - 18" OR LESS FOR 6" AND SMALLER DIAMETER PIPE
 - 24" FOR 8" DIAMETER PIPE
 - 36" FOR 12" DIAMETER PIPE
 - O.D. PLUS 18" FOR PIPE LARGER THAN 12" NOMINAL DIAMETER
 - REFER TO DIVISION 9 OF WSDOT STANDARD SPECIFICATIONS FOR MATERIAL GRADATION AND ADDITIONAL INFORMATION.
 - TRENCH BACKFILL SHALL MEET A MINIMUM COMPACTION OF 95% DENSITY PER ASTM D 1557.
 - IF UNSTABLE MATERIAL IS ENCOUNTERED BELOW PIPE ZONE, CONTRACTOR SHALL REMOVE AND REPLACE AS REQUIRED BY CITY ENGINEER.

<p>CITY OF EDMONDS PUBLIC WORKS DEPARTMENT</p>	<p>TYPICAL TRENCH SECTION</p>	<p>REVISION DATE APRIL 2021</p>
		<p>STANDARD DETAIL GU-400</p>
<p>APPROVED BY: R. ENGLISH</p>		



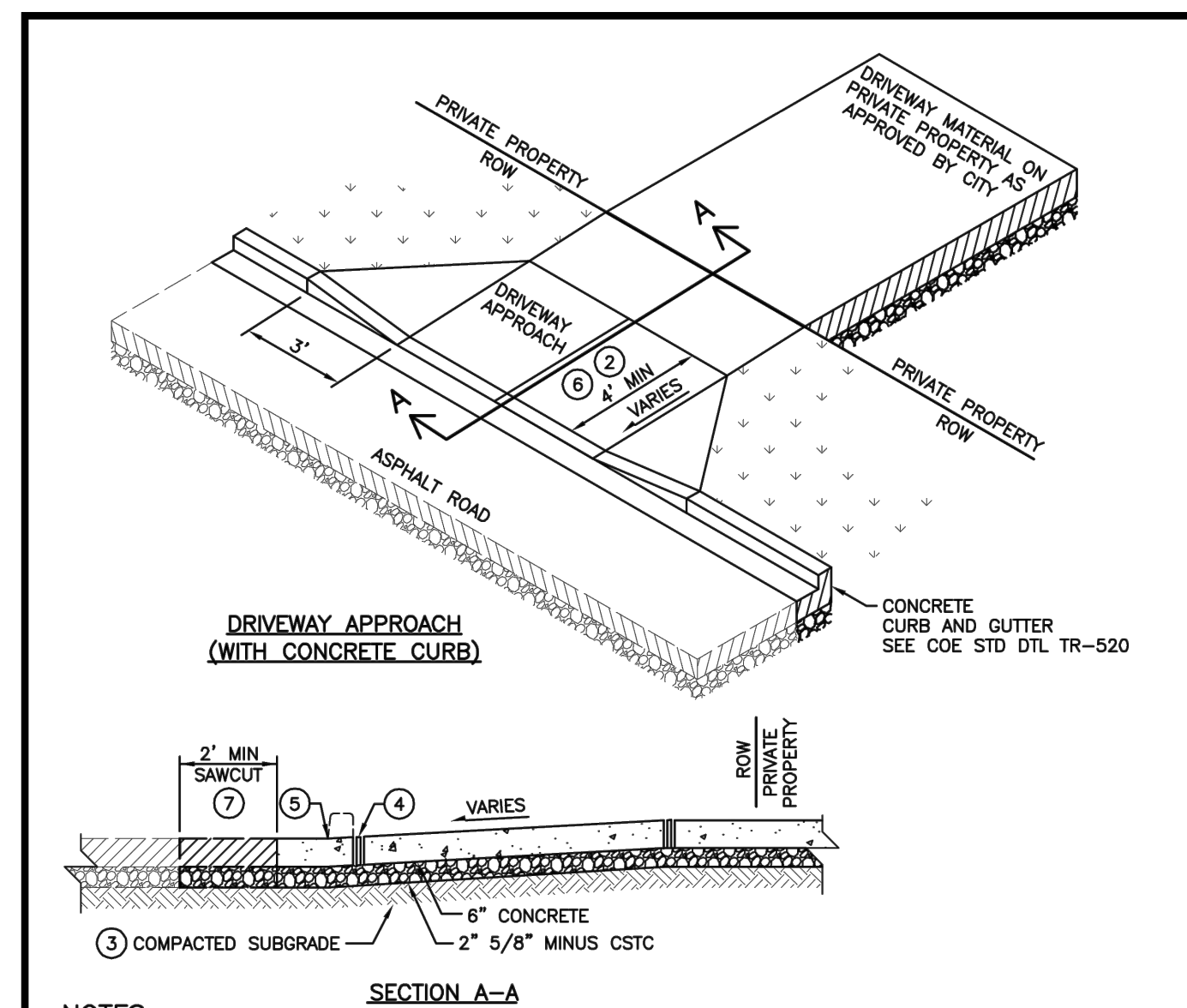
- NOTES:**
- SEE CITY OF EDMONDS MODIFICATIONS TO DIVISION 9 OF THE CURRENT WSDOT STANDARD SPECIFICATIONS FOR BACKFILLING REQUIREMENTS.
 - SUBMIT PROCTOR AND DENSITY TESTS FROM CERTIFIED TESTING COMPANIES DOCUMENTING THAT THE BACKFILL MEETS A MINIMUM OF 95% DENSITY PER ASTM D 1557.
 - CSCC DEPTH SHALL BE A MINIMUM OF 6", AND SHALL BE INSTALLED IN MULTIPLE EQUAL THICKNESS LIFTS NOT EXCEEDING 6".
 - ROADWAY HMA DEPTH SHALL BE A MINIMUM OF 4" FOR RESIDENTIAL ROADS AND 6" FOR COLLECTORS/ARTERIALS.
 - ALLEY HMA DEPTH SHALL BE A MINIMUM OF 2" THICK. UNLESS APPROVED BY THE ENGINEER, ANY DEPTH GREATER THAN 2" SHALL MATCH EXISTING.
 - UNLESS APPROVED BY THE ENGINEER, THE HMA SHALL BE INSTALLED IN MULTIPLE EQUAL THICKNESS LIFTS NOT EXCEEDING 2".
 - FINAL PAVEMENT JOINTS SHALL BE NEATLY SAW CUT AND UNIFORMLY SEALED WITH WSDOT STANDARD SPECIFICATIONS 5-04.3(4)A APPROVED JOINT SEALANT OR APPROVED EQUAL.

<p>CITY OF EDMONDS PUBLIC WORKS DEPARTMENT</p>	<p>TYPICAL HMA AND UTILITY PATCH</p>	<p>REVISION DATE APRIL 2021</p>
		<p>STANDARD DETAIL GU-410</p>
<p>APPROVED BY: R. ENGLISH</p>		



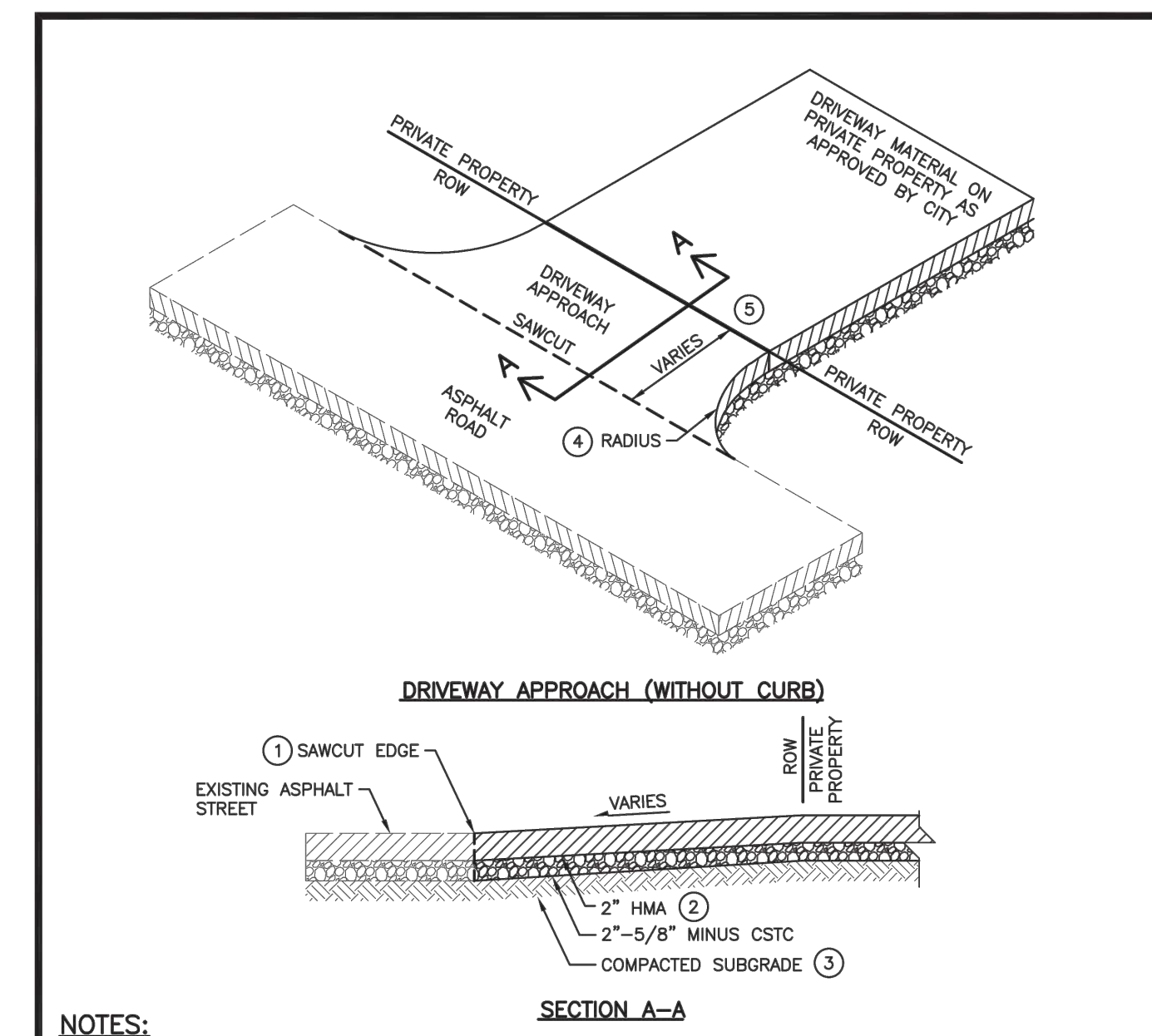
- NOTES:**
- CITY INSPECTION REQUIRED ON FORM WORK PRIOR TO POUR.
 - FORMS SHALL BE TRUE TO LINE AND GRADE AND SECURELY STAKED.
 - FULL DEPTH EXPANSION JOINTS SHALL BE PLACED ADJACENT TO ANY STRUCTURE.
 - FULL DEPTH EXPANSION JOINTS SHALL BE PLACED EVERY 10 FEET.
 - FULL DEPTH EXPANSION JOINTS SHALL HAVE 1/2" WIDE PREMOLDED JOINT FILLER.
 - CONCRETE SHALL BE CLASS 3000/COMMERCIAL MIX.
 - FINISH SHALL BE LIGHT BROOM.
 - CURB AND GUTTER SHALL BE SPRAYED WITH CLEAR CURING COMPOUND OR SHALL BE COVERED AND KEPT MOIST FOR 72 HOURS.
 - REMOVAL/REPLACEMENT OF CONCRETE CURB SHALL BE FROM EXPANSION JOINT TO EXPANSION JOINT, UNLESS OTHERWISE DIRECTED BY CITY ENGINEER.
 - A 2'-FT MINIMUM ASPHALT SAWCUT MAY BE REQUIRED WHEN EXISTING PAVEMENT WOULD ABUT NEW CURB/GUTTER.
 - CURB/GUTTER SHALL BE 18" OR AS DIRECTED BY CITY ENGINEER. REFER TO CITY STANDARD CONCRETE CURB AND GUTTER DETAIL TR-520.
 - FINAL JOINT SHALL BE A NEAT SAW CUT STRAIGHT LINE. ALL EXPOSED VERTICAL EDGES SHALL BE TACKED NEATLY PER WSDOT STANDARD SPECIFICATION 5-04.3(4)A APPROVED TACK OR APPROVED EQUAL AND SEALED PER WSDOT STD 5-04.3(4)A.
 - CSTC SHALL BE INSTALLED UNDER HMA WHEN HMA SAWCUT IS REQUIRED. CSCB SHALL BE INSTALLED UNDER HMA WHEN FULL ROAD RECONSTRUCTION IS REQUIRED.
 - NATIVE AND GRAVEL SUBGRADE SHALL BE COMPACTED TO A MINIMUM OF 95% MAX DENSITY.

<p>CITY OF EDMONDS PUBLIC WORKS DEPARTMENT</p>	<p>VERTICAL CONCRETE CURB AND GUTTER</p>	<p>REVISION DATE APRIL 2021</p>
		<p>STANDARD DETAIL TR-520</p>
<p>APPROVED BY: R. ENGLISH</p>		



- NOTES:**
- CITY INSPECTION REQUIRED ON FORM WORK PRIOR TO POUR.
 - CONCRETE SHALL BE CLASS 3000.
 - SUBGRADE SHALL BE CSTC COMPACTED TO 95% MAXIMUM DENSITY.
 - FULL DEPTH 1/2" EXPANSION JOINT REQUIRED BETWEEN CURB AND DRIVEWAY APPROACH.
 - MAINTAIN 1/2" LIP AT GUTTER ADJACENT TO DRIVEWAY APPROACH.
 - IF DRIVEWAY APPROACH WIDTH EXCEEDS 15', INSTALL FULL DEPTH EXPANSION JOINT AT CENTER OF DRIVEWAY.
 - 2' ASPHALT SAWCUT MAY BE REQUIRED WITH CURB/GUTTER INSTALLATION. REFER TO COE STD DTL TR-520.

<p>CITY OF EDMONDS PUBLIC WORKS DEPARTMENT</p>	<p>DRIVEWAY APPROACH TYPE V</p>	<p>REVISION DATE JANUARY 2018</p>
		<p>STANDARD DETAIL TR-545</p>
<p>APPROVED BY: R. ENGLISH</p>		



- NOTES:**
- SAWCUT EDGE AND USE TACK COAT BETWEEN ROAD TO DRIVEWAY APPROACH JOINT. SEAL JOINT WITH AR4000 SEALER.
 - DRIVEWAY APPROACH TO BE 2" HMA CLASS 1/2" PG 58H-22.
 - SUBGRADE SHALL BE COMPACTED TO 95% MAXIMUM DENSITY.
 - 10' EDGE RADIUS.
 - HMA SHALL BE PLACED FROM EDGE OF EXISTING STREET, A MINIMUM DISTANCE OF 20'-FT OR TO PROPERTY LINE, WHICHEVER IS GREATER.
 - DRIVEWAY WIDTH TO BE MINIMUM 12".

<p>CITY OF EDMONDS PUBLIC WORKS DEPARTMENT</p>	<p>DRIVEWAY APPROACH TYPE VI</p>	<p>REVISION DATE FEBRUARY 2023</p>
		<p>STANDARD DETAIL TR-546</p>
<p>APPROVED BY: R. ENGLISH</p>		

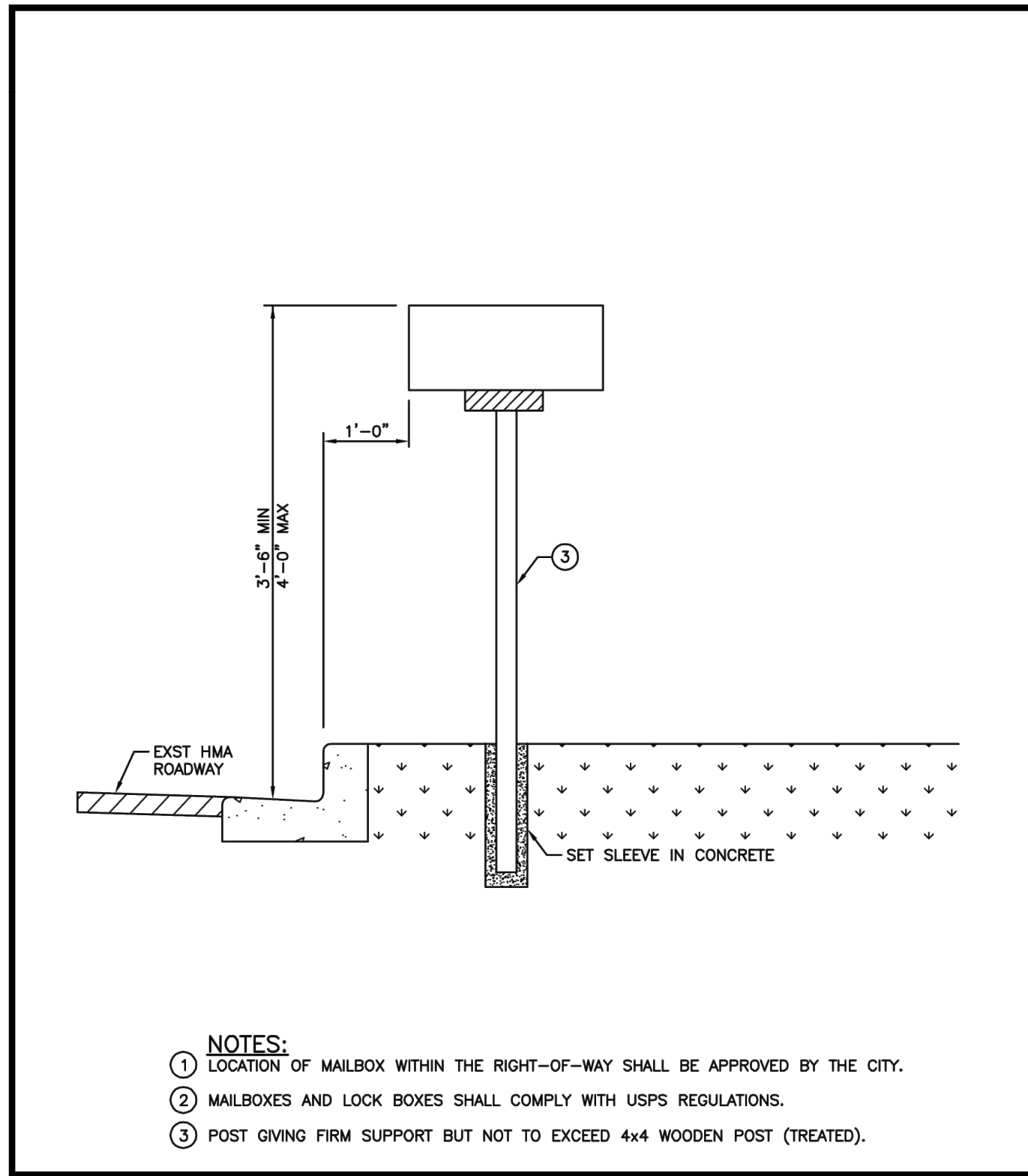


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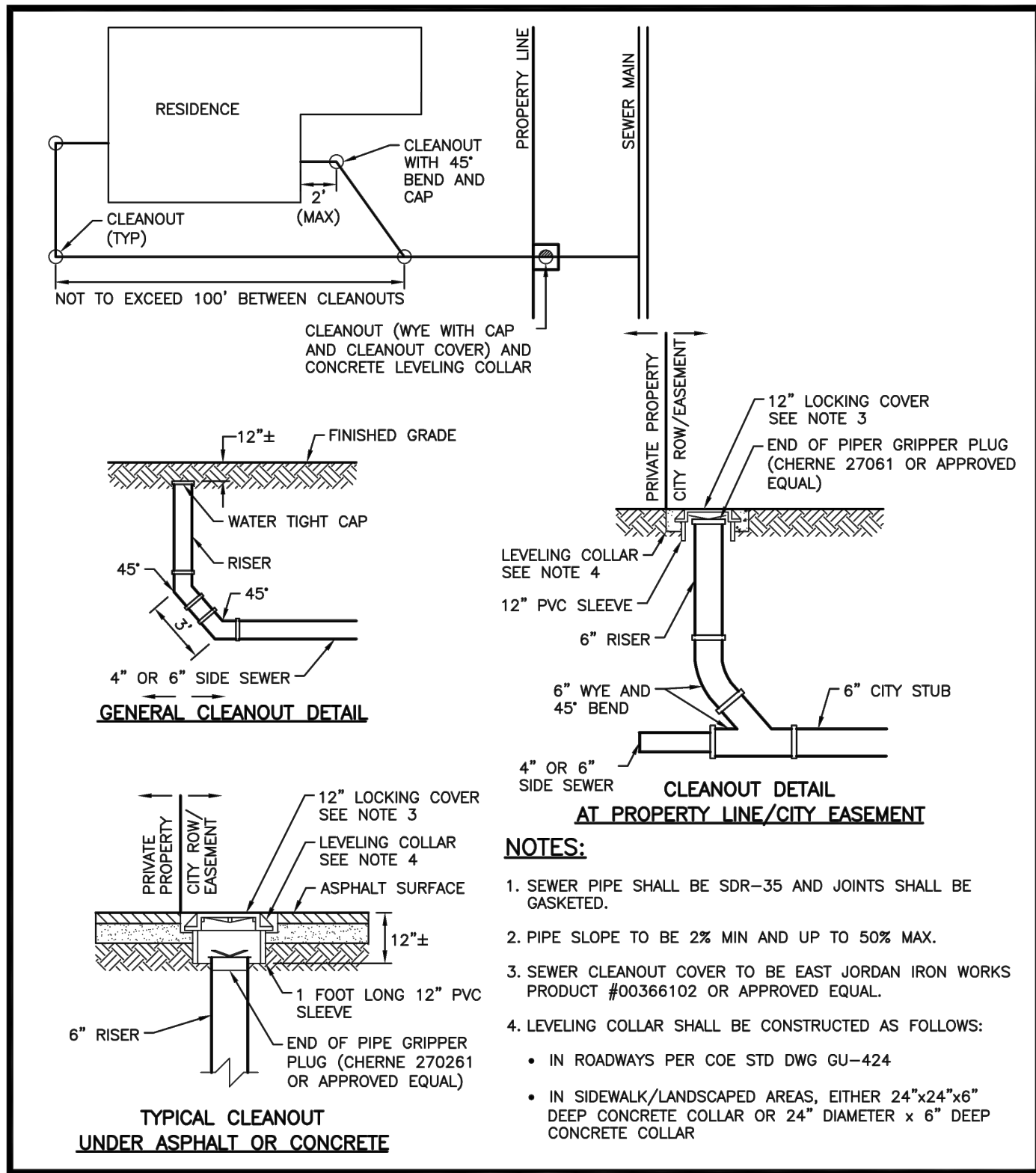
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CITY OF EDMONDS

DATE: _____

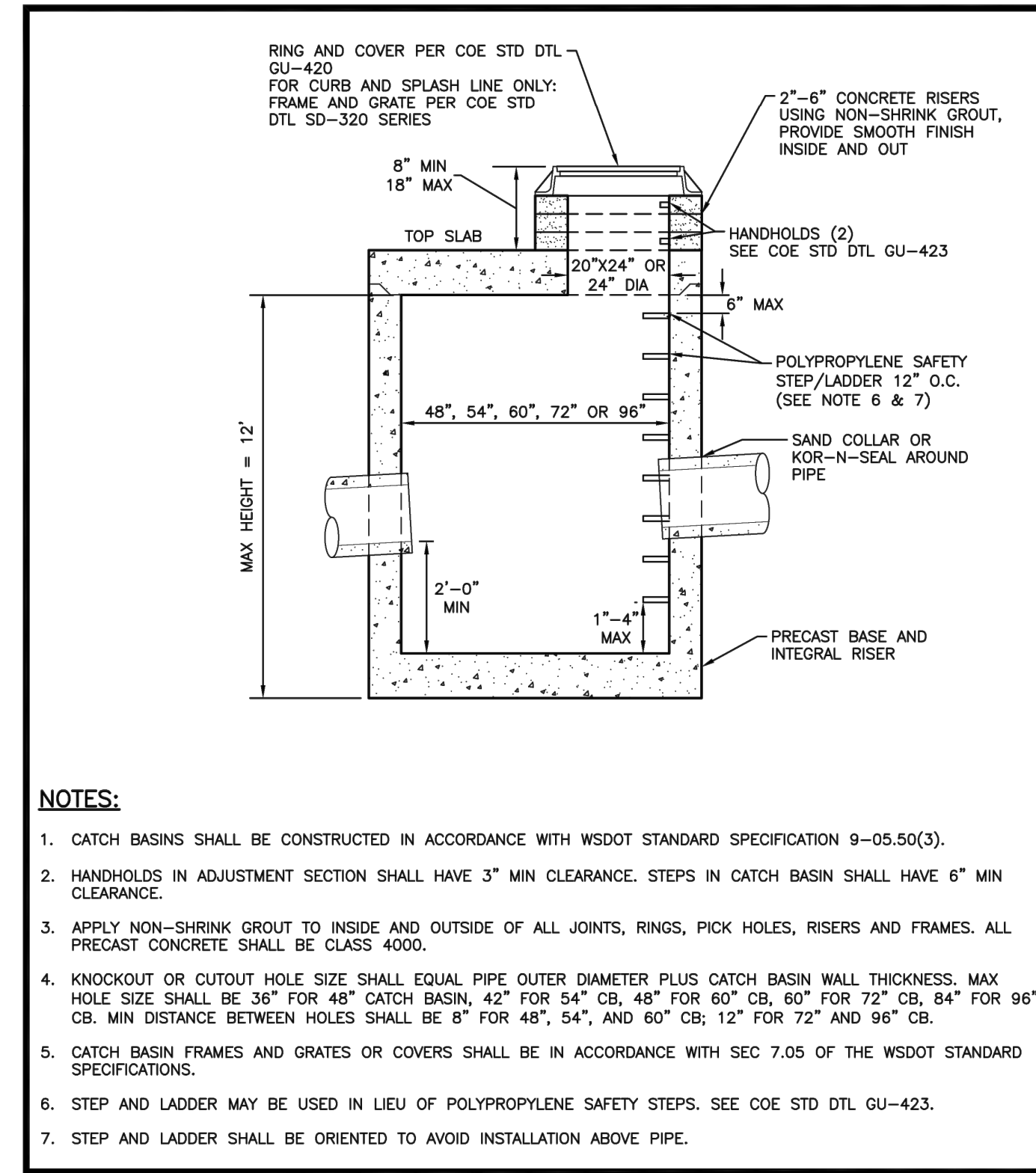
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CITY ENGINEERING DIVISION



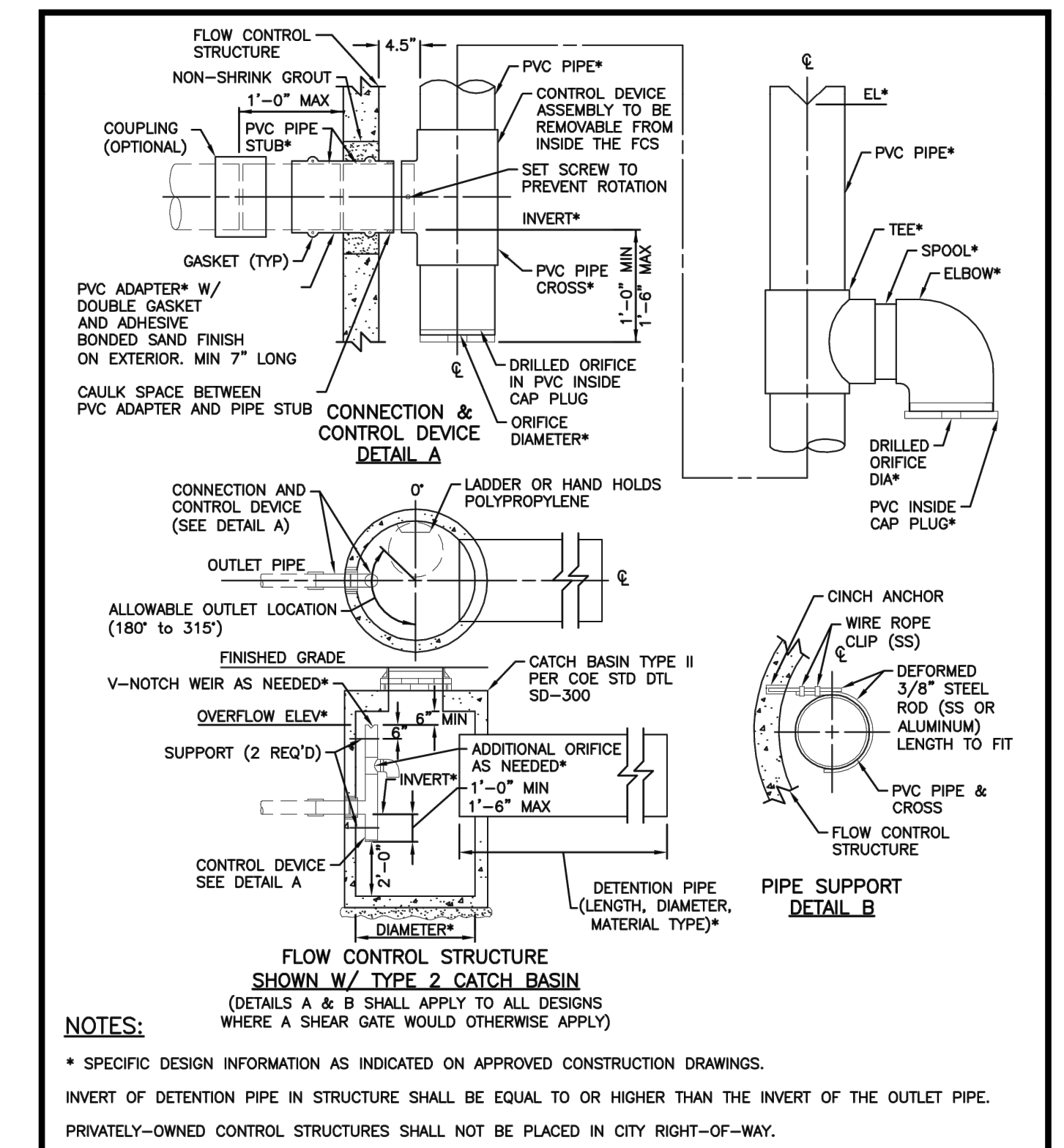
CITY OF EDMONDS PUBLIC WORKS DEPARTMENT	MAILBOX DETAIL 2	REVISION DATE JANUARY 2018
	APPROVED BY: R. ENGLISH	STANDARD DETAIL TR-582



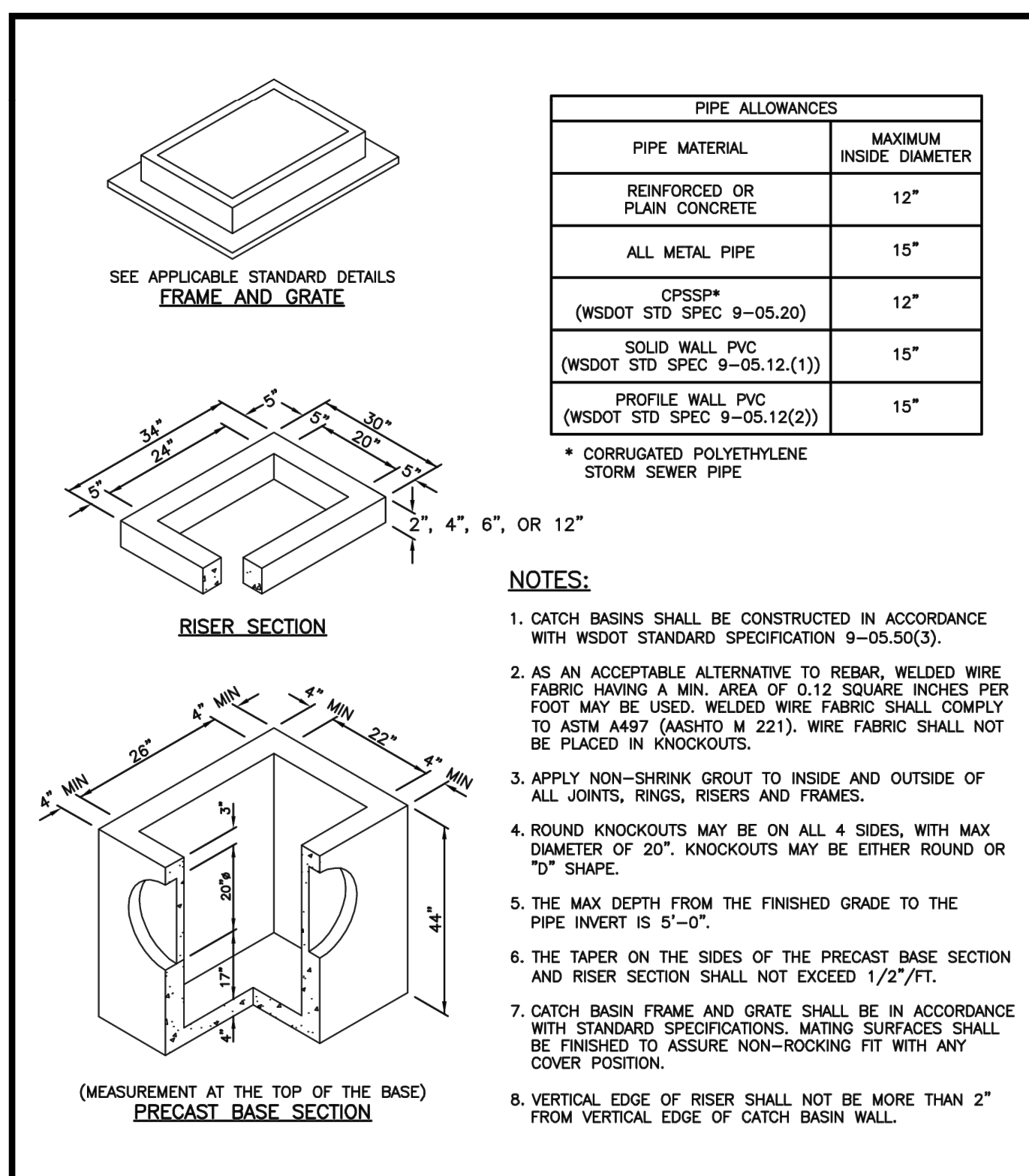
CITY OF EDMONDS PUBLIC WORKS DEPARTMENT	SEWER CLEANOUT DETAILS	REVISION DATE FEBRUARY 2022
	APPROVED BY: R. ENGLISH	STANDARD DETAIL SS-200



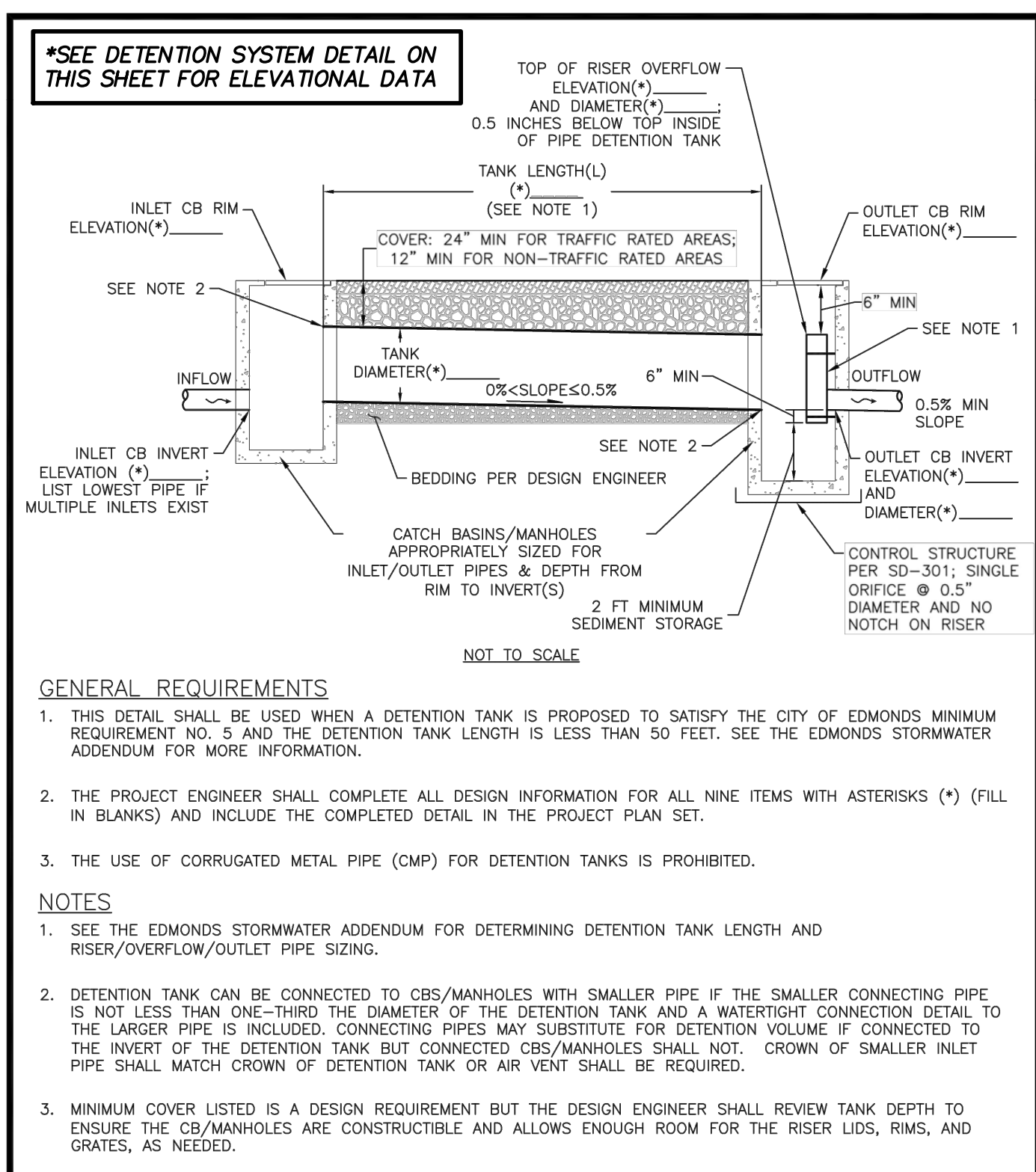
CITY OF EDMONDS PUBLIC WORKS DEPARTMENT	CATCH BASIN, TYPE II 48", 54", 60", 72", & 96"	REVISION DATE OCTOBER 2021
	APPROVED BY: R. ENGLISH	STANDARD DETAIL SD-300



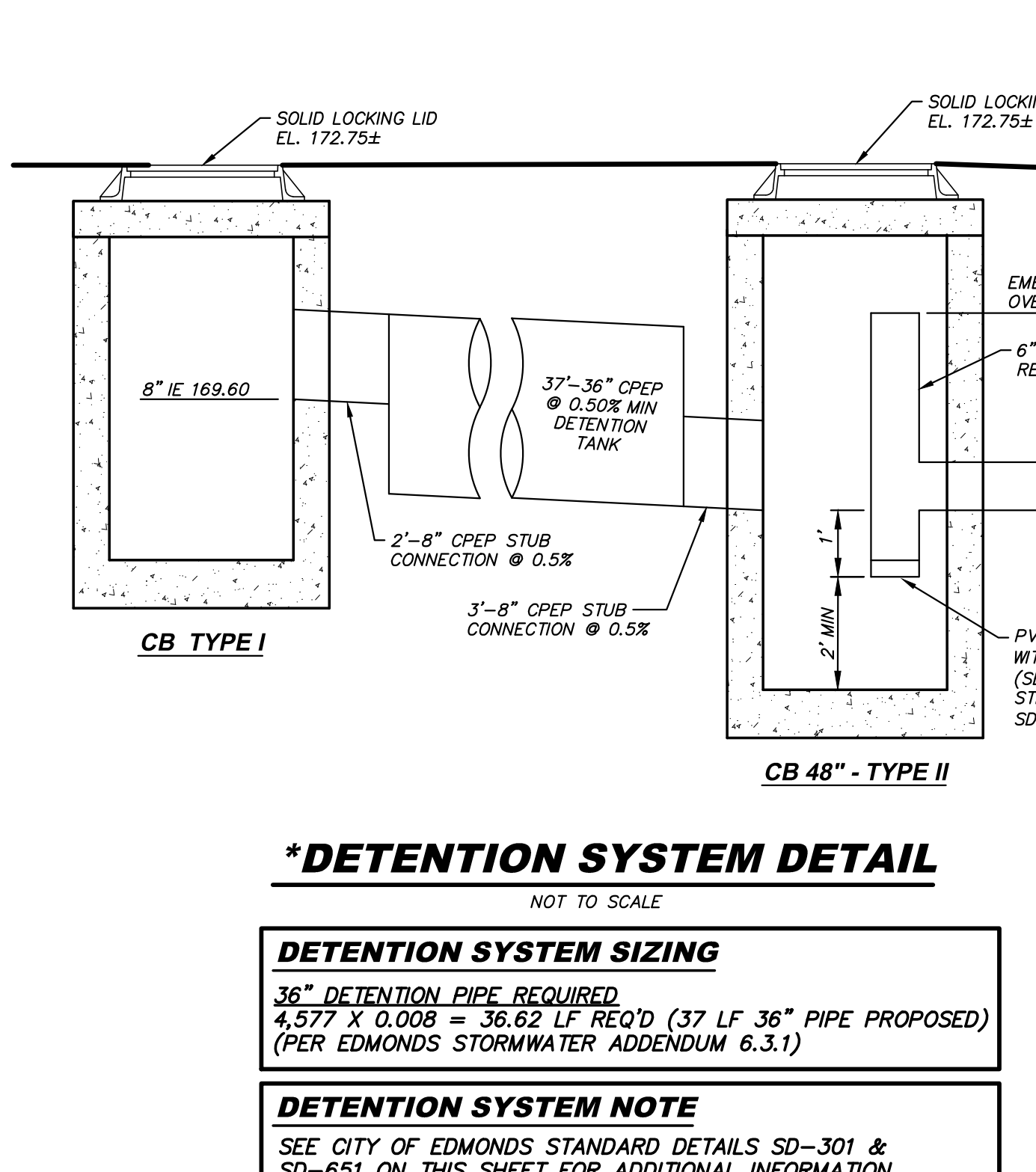
CITY OF EDMONDS PUBLIC WORKS DEPARTMENT	FLOW CONTROL STRUCTURE (FCS)	REVISION DATE JANUARY 2018
	APPROVED BY: R. ENGLISH	STANDARD DETAIL SD-301



CITY OF EDMONDS PUBLIC WORKS DEPARTMENT	CATCH BASIN TYPE I	REVISION DATE JANUARY 2018
	APPROVED BY: R. ENGLISH	STANDARD DETAIL SD-303



CITY OF EDMONDS PUBLIC WORKS DEPARTMENT	DETENTION TANK FOR MINIMUM REQUIREMENT NO. 5	REVISION DATE SEPTEMBER 2023
	APPROVED BY: R. ENGLISH	STANDARD DETAIL SD-651



CITY OF EDMONDS PUBLIC WORKS DEPARTMENT	DETENTION SYSTEM SIZING	REVISION DATE OCTOBER 2021
	APPROVED BY: R. ENGLISH	STANDARD DETAIL SD-300



CITY OF EDMONDS PUBLIC WORKS DEPARTMENT	CHANNEL DRAIN DETAIL	REVISION DATE JANUARY 2018
	APPROVED BY: R. ENGLISH	STANDARD DETAIL SD-301

REVISION	DESCRIPTION	DATE	NO

CITY OF EDMONDS PUBLIC WORKS DEPARTMENT	FLOW CONTROL STRUCTURE (FCS)	REVISION DATE JANUARY 2018
	APPROVED BY: R. ENGLISH	STANDARD DETAIL SD-301

GENERAL DETAILS

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CITY OF EDMONDS

ROBERT L. LONG
PROFESSIONAL ENGINEER
3/07/2024

ENGINEER:	ROB L. LONG, PE
DRAWN BY:	BRIAN CLARK
ISSUE DATE:	3/07/24
SCALE:	AS NOTED
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SHT	5 OF 5



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